

PUBLIC SCHOOL CAPITAL OUTLAY COUNCIL

November 8, 2021 – 1:30 PM

State Capitol Building, Room 307

Santa Fe, NM

I. Call to Order - Mr. Joe Guillen, Chair

A. Approval of Agenda*

B. Correspondence

* Denotes potential action by the PSCOC

PUBLIC SCHOOL CAPITAL OUTLAY COUNCIL (PSCOC)

Agenda

November 8, 2021 – 1:30 pm

Room 307

(* Denotes potential action by the PSCOC)

I. Call to Order – Joe Guillen, Chair

- A. Approval of Agenda*
- B. Correspondence

II. Public Comment

III. PSCOC Financial Plan

IV. Consent Agenda*

- A. October 12, 2021 PSCOC Meeting Minutes
- B. S19-013 Los Lunas MS – Technical Correction*
- C. S20-007 Hobbs HS – Construction Funding Request*
- D. S22-011 Las Vegas City Paul D. Henry ES – Award Language Change*
- E. P19-006 Las Vegas City Sierra Vista ES – Award Language Change*
- F. 2021 Cat2 Final Awards*
- G. 2021-2022 Lease Assistance Remaining Awards*
- H. Recertification of SSTBs*
- I. 2022-2023 Preliminary Ranking*
- J. Roots & Wings – Sale of PSCOC Portable*
- K. De-certification and Recertification of Security Funds*

V. Out-of-Cycle Funding/Award Language Requests

- A. P19-004 Gallup Tohatchi HS – Award Language Change*
- B. E18-001 Santa Rosa Anton Chico MS – Potential Emergency Awards*

VI. Other Business

- A. BDCP – T or C Pre-K Eligibility*
- B. 2021-2022 FMP Awards*

VII. Informational

- A. Statewide Education Network Overview and Timeline
- B. 2021-2022 Second Round Applications Received
- C. PSFA Project Processes
- D. Project Status Report

VIII. Next PSCOC Meeting - (Proposed for December 13, 2021 - *tentative*)

IX. Adjourn

PUBLIC SCHOOL CAPITAL OUTLAY COUNCIL (PSCOC)

Agenda

November 8, 2021 – 1:30 pm

Room 307

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**PUBLIC SCHOOL CAPITAL OUTLAY COUNCIL
SUBCOMMITTEE ASSIGNMENTS**

PSCOC

Joe Guillen, Chair

Raúl Burciaga, Vice-Chair

Awards Subcommittee

David Abbey, Interim Chair

Dr. Vanessa Hawker, LESC

Antonio Ortiz, PED

Clay Bailey, CID

Administration, Maintenance & Standards Subcommittee

David L. Robbins, Chair

Raúl Burciaga, LCS

Ashley Leach, DFA

Mariana Padilla, Governor's Office

Joe Guillen will serve on subcommittees in the absence of any member or designee.

**State of New Mexico
Public School Capital Outlay Council**

Chair:

Joe Guillen, NMSBA

Members:

Ashley Leach, DFA

David Abbey, LFC

David L. Robbins, PEC

Mariana Padilla, Governor's Office



Vice Chair:

Raúl Burciaga, LCS

Members:

Dr. Vanessa Hawker, LESC

Antonio Ortiz, PED

Clay Bailey, CID

**Public School Facilities Authority
Martica Casias, Interim Director**
1312 Baschart Road, SE, Suite 200, Albuquerque, NM 87106
(505) 843-6272 (Phone); (505) 843-9681 (Fax)
Website: www.nmpsfa.org

Awards Subcommittee - Chair Appointment

Date: 11-1-2021

In accordance with the PSCOC regulations, the PSCOC Chair may appoint the Subcommittee Chair. If the designated Subcommittee Chair cannot fulfill their duty, the PSCOC Chair will serve as the alternate Subcommittee Chair.

By virtue of this signed letter, I Joe Guillen hereby designate:

Name: David Abbey

Title: Director – Legislative Finance Committee

To serve as the Awards Subcommittee Chair. This designation may be amended as necessary.

Sincerely,

Joe Guillen
PSCOC Chair

II. Public Comment

III. PSCOC Financial Plan

I. PSCOC Meeting Date(s): **November 8, 2021** Item No. III

II. Item Title: PSCOC Financial Plan

III. Name of Presenter(s): Randy Evans, CFO

Summary of PSCOC Financial Plan Changes since 10/12/2021

PSCOC ACTION - OUT-OF-CYCLE, EMERGENCY, ADDITIONAL FUNDING

Socorro P19-015 - Sarracino MS S19-013 Los Lunas - Los Lunas MS	Award Amount	
	\$8,518,404	
	\$2,836,611	
	Total Awards:	\$11,355,015
	Total Reversion/Reallocation/Rescind:	\$0

PROJECT AWARD SCHEDULE DETAIL ADJUSTMENTS (Fiscal Year)

Project moves based upon estimated construction schedule	2021	2022	2023
	\$0	\$0	\$0
	\$0	\$0	\$0

PSCOC FUND PROJECT AWARD SCHEDULE DETAIL - MODIFICATIONS

Potential Council Action Projects - Agenda:	FY	Previous FP Estimate	Current FP Estimate	Change Fav (Unfav)
				\$0
				\$0
				\$0
				\$0
Subtotal		\$0	\$0	\$0

FINANCIAL PLAN ASSUMPTIONS and SUMMARY:

- Line 14: Lease payment assistance award changes for FY22 up by \$1.5M and an estimated 3% increase each year for FY23, FY24 and FY25.
- Line 16: Legislative Appropriation for School Bus replacements \$8,989,000 for FY21 and \$3,492,000 for FY22 from HB285 and PED estimates of \$5,194,000 for FY23, \$2,450,000 for FY24 and \$6,076,000 for FY25.
- Projected Fund Balance as of October 26, 2021 is \$557,047,960.58

Financial Plan Variance Between Months

(in millions)	FY21	FY22	FY23	FY24	FY25
Uncommitted Balance (October 4, 2021)	229.3	304.0	253.1	245.4	352.2
Uncommitted Balance (November 8, 2021)	230.8	292.6	241.8	234.0	340.9
Variance Favorable (Unfavorable)		(11.4)	(11.4)	(11.4)	(11.4)

Variance Analysis:

FY22 Change :

Beginning Balance for FY22 change

Socorro P19-015 - Sarracino MS

S19-013 Los Lunas - Los Lunas MS

Fav (Unfav)	Fav (Unfav)
-	-
(8,518,404)	(8.5)
(2,836,611)	(2.8)
-	-
-	-
(11,355,015)	(11.4)

FY23 Change :

Beginning Balance for FY23 change

Fav (Unfav)	Fav (Unfav)
(11,355,015)	(11.4)
-	-
-	-
-	-
-	-
(11,355,015)	(11.4)

FY24 Change:

Beginning Balance FY24 change

Fav (Unfav)	Fav (Unfav)
(11,355,015)	(11.4)
-	-
-	-
-	-
-	-
(11,355,015)	(11.4)

FY25 Change:

Beginning Balance FY25 change

Fav (Unfav)	Fav (Unfav)
(11,355,015)	(11.4)
-	-
-	-
-	-
-	-
(11,355,015)	(11.4)

PSCOC Financial Plan

(millions of dollars)

November 8, 2021

Program
Appropriation

I. SOURCES & USES					
SOURCES:		FY22 est.	FY23 est.	FY24 est.	FY25 est.
1	Uncommitted Balance (Period Beginning)	230.8	292.6	241.8	234.0
2	SSTB Notes (Revenue Budgeted July)	145.2	70.3	76.8	79.8
3	SB4 (Instructional Materials or Transportation Distribution)				
4	SSTB Notes (Revenue Budgeted January)	164.0	179.2	186.1	188.4
5	General Fund Appropriation - SB 280				
6	General Appropriation (Panic Button) Reform fund and GF				
7	General Fund Appropriation - HB 285 Grants-Cibola County Schools	0.9			
8	Long Term Bond	0.0	0.0	0.0	0.0
9	Project Reversions	0.6	0.6	0.6	0.6
10	Operating Reversions				
11	Advance Repayments	0.5	0.5	0.5	0.5
12	Subtotal Sources :	541.9	543.3	505.8	503.4
USES:					
13	Capital Improvements Act (SB-9) Changes for FY21-FY24	21.7	22.2	22.6	23.1
14	Lease Payment Assistance Awards	18.0	18.5	19.1	19.7
15	Master Plan Assistance Awards	0.4	0.4	0.4	0.4
16	Legislative/Estimated Appropriation for School Buses	3.5	5.2	2.5	6.1
17	Legislative Appropriation Capital Improvements Act - Impact Aid Districts				
18	General Appropriation (Panic Button) Reform fund and GF				
19	General Appropriation (Panic Button) PSCOF 2021 HB2	1.0			
20	General Fund Appropriation - HB 285 Grants-Cibola County Schools	0.9			
21	BDCP	5.0	10.0	10.0	10.0
22	BDCP Awards YTD				
23	Pre-K Capital Appropriation				
24	Pre-K Classroom Facilities Initiative	5.0	5.0	5.0	5.0
25	PSFA Operating Budget	5.9	6.1	6.4	6.7
26	CID/SFMO Inspections	0.3	0.3	0.3	0.3
27	Emergency Reserve for Contingencies	4.0	4.0	4.0	4.0
28	New Demolition Program	5.0	10.0	10.0	10.0
29	New Teacher Housing Program	5.0	10.0	10.0	10.0
30	Awards YTD (per Project Awards Schedule)				
31	Awards Planned in Remaining Quarters & Out Years (per Project Awards Schedule)	173.6	209.8	181.5	67.3
32	Subtotal Uses :	249.3	301.5	271.8	162.6
33	Estimated Uncommitted Balance Period Ending	292.6	241.8	234.0	340.9

II. PROJECT AWARD SCHEDULE SUMMARY						
	Total	FY22 est.	FY23 est.	FY24 est.	FY25 est.	Total
2004-2005 Awards (Design & Const.) :						
34 Prior Year Awards	4.2	0.0	0.0	0.0	0.0	4.2
35 2013-2014 Awards Cycle (Design/Const.) :	219.7	0.0	0.0	0.0	0.0	3.4
36 2014-2015 Awards Cycle (Design/Const.) :	104.3	1.0	0.0	0.0	0.0	14.6
37 2015-2016 Awards Cycle (Design/Const.) :	33.4	0.0	0.0	0.0	0.0	0.0
38 2016-2017 Awards Cycle (Const.) :	0.0	0.0	0.0	0.0	0.0	0.0
39 2016-2017 Awards Cycle (Design) :	0.0	0.0	0.0	0.0	0.0	0.0
40 2017-2018 Awards Cycle (Design/Const.) :	23.9	0.0	0.0	0.0	0.0	5.5
41 2018-2019 Awards Cycle (Design) :	4.4	9.8	0.0	0.0	0.0	16.9
42 2018-2019 Awards Cycle (Const.) :	161.2	70.4	73.1	0.0	0.0	173.3
43 2019-2020 Awards Cycle (Design) :	8.8	4.8	0.0	0.0	0.0	10.6
44 2019-2020 Awards Cycle (Const.) :	110.0	55.6	49.0	0.0	0.0	111.9
45 2020-2021 Standards-Based Awards Cycle :	197.6	26.5	64.3	88.8	16.3	198.0
46 2020-2021 Systems-Based Awards Cycle :	5.0	2.7	0.0	0.0	0.0	5.0
47 2021-2022 Standards-Based Awards Cycle :	138.3	1.1	17.1	69.7	0.0	87.9
48 2021-2022 Systems-Based Awards Cycle :	5.0	1.7	2.1	0.0	0.0	3.8
49 2022-2023 Standards-Based Awards Scenario :	138.3	0.0	2.0	16.0	32.3	50.3
50 2022-2023 Systems-Based Awards Scenario :	5.0	0.0	2.3	2.7	0.0	5.0
51 2023-2024 Standards Based Awards Scenario :	138.3	0.0	0.0	2.0	16.0	18.0
52 2023-2024 Systems-Based Awards Scenario :	5.0	0.0	0.0	2.3	2.7	5.0
Subtotal Uses :	1302.3	173.6	209.8	181.5	67.3	713.4

*Actual SSTB/LTB Sale

713.4

PSCOC Financial Plan Definitions

Sources

SSTB (Revenue Budgeted July) & SSTB (Revenue Budgeted January). Supplemental Severance Tax Bonds (SSTBs) are issued and sold by the New Mexico State Board of Finance (BOF) upon receiving a Resolution authorized by the PSCOC and signed by the chair certifying the need to sell bonds pursuant to the Public School Capital Outlay Act ("Act"). The Public School Facilities Authority (PSFA) budgets amounts into the Public School Capital Outlay Fund ("Fund"). Amounts reported for prior fiscal years are actuals and are denoted by an " * ". Amounts reported for the current fiscal year and out-years are the most current, available capacity estimates prepared bi-annually by the BOF. Bonds sold in June are budgeted in July and bonds sold in December are budgeted in January.

Project Reversions, Operating Reversions, and Advance Repayments. Project reversions are identified by PSFA staff through ongoing project financial audits. SSTB proceeds that have been previously authorized by PSCOC for particular projects are identified by PSFA staff for reversion when the proceeds are no longer needed for the particular project for which they were authorized.

Operating reversions are unexpended amounts from PSFA's annual operating budget. These amounts are reverted to the Fund annually via an operating transfer.

Advance repayments are amounts remitted to PSFA and deposited into the Fund by school districts for PSCOC approved advances of funds for school districts local share amounts on PSCOC projects. Amounts reported for prior fiscal years are actuals.

Long Term Bonds. This includes Severance Tax Bonds (STB) appropriated to the Fund. In FY 2017 and 2018 the Legislature appropriated \$81.4 million in STB proceeds to the Fund for expenditure in FY 2018 - 2022. Any unexpended or unencumbered balance remaining at the end of FY 2022 will revert to the severance tax bonding fund.

Uses: Public Schools Capital Outlay Act

FP Summary Legend: Italicized is for Legislative Appropriations. Orange text is for discretionary programs. Black text is for non-discretionary programs.

Capital Improvements Act (SB-9), Lease Payment Assistance Awards, Master Plan Assistance Awards, PSFA Operating Budget, Construction Industries Division (CID) Inspections, and State Fire Marshal are uses subject to funding availability and permitted pursuant to the Public School Capital Outlay Act and Capital Improvements Act.

Capital Improvements Act (SB-9) amounts are transferred to the Public Education Department (PED), which distributes funds to school districts pursuant to the Capital Improvements Acts. Amounts transferred to PED are calculated annually and administered by PED. Out-year estimates are based on previous amounts distributed to PED.

CID Inspections and State Fire Marshal are amounts PSCOC may approve annually for transfer from the Fund to the Regulation and Licensing Department for expedited inspection services by the Construction Industries Division and expedited permits and inspection of projects conducted by the State Fire Marshal Department at PSCOC funded project sites. CID and the State Fire Marshal requests budget authority from PSCOC each fiscal year. Out-year estimates are based on previous amounts distributed to CID and the State Fire Marshal.

PSFA Operating Budget are amounts that are approved annually by the Legislature for transfer from the Fund to the PSFA Operating Fund for administration and oversight of PSCOC projects and carrying out duties pursuant to the Public School Capital Outlay Act. Total annual expenditures from the fund for the core administrative functions, cannot not exceed 5% of the average annual grant assistance authorized from the PSCOC Fund during the immediately preceding three fiscal years. And any unexpended or unencumbered balance remaining at the end of the fiscal year from the expenditures authorized in this subsection revert to the fund.

PSCOC Financial Plan Definitions

Lease Payment Assistance Awards are amounts that may be approved annually for reimbursing school districts and charter schools for leasing K-12 facilities pursuant to the Section I. of the Public School Capital Outlay Act (22-24-4). PSCOC discretion is used to estimate the preliminary amount for lease assistance. The financial plan is updated based upon PSCOC action.

Master Plan Assistance Awards are amounts that may be approved annually for the state share of the cost of updating a school district or charter schools five year facility master plans. The financial plan includes an estimate for out-year amounts based upon previous award history. The financial plan is updated based upon PSCOC action.

Project Closeouts are projected amounts that may be reimbursed to the districts upon the completion of financial audits for previously awarded projects. In order to align the total project expenditures to adequacy with the MOU match percentages, amounts may be due to the district if the State share of the expenditures is less than the MOU State match percentage. During the transition from FIFO (pooled funds) to project-specific budgets, projects which had reached construction completion may not have been assigned a budget, and this line item will be used to make those reimbursements. PSFA anticipates the need for this line item allocation in FY15 and FY16. Project closeouts from FY17 and forward are budgeted within the project. There is no additional need in the out-years.

Emergency Reserve for Contingencies are projected amounts that may be used to fund the State share of a project that is above the original award amount. These amounts can occur due to cost overruns, change in scope or other identified changes presented to the PSCOC. The financial plan includes an estimate from PSFA staff and is discussed with subcommittees. The estimate may change based upon market conditions or PSCOC discretion.

Uses: Legislative Appropriations

Instructional Materials/Transportation Distribution, Pre-kindergarten Awards, Security Awards and Broadband Deficiencies Corrections Program are uses subject to funding availability and appropriations made by the legislature.

Instructional Materials/Transportation Distribution are amounts appropriated from 52nd Legislature, 2016 2nd Special Session, Chapter 2, SB4 to reserve \$25.0 million in each fiscal year from 2018 through 2022 for appropriation by the legislature from the Public School Capital Outlay Fund. The appropriation may change each fiscal year and is adjusted in the financial plan based upon passed legislation.

Pre-kindergarten Awards are amounts reauthorized in Section 139 for the unexpended balance of the appropriation to the PED in Subsection 1 of Section 40 of Chapter 81 of laws 2016 to plan, design, renovate and construct public school pre-kindergarten classrooms statewide is appropriated to the PSFA contingent upon approval by the PSCOC for those purposes. Expenditure is extended through year 2021. The financial plan estimates \$5.0 million in out-years to continue this program and was added per PSCOC direction.

Security Awards are amounts appropriated from 53rd Legislature, 2nd Session, 2018 Regular Session, HB306 appropriated for expenditure in fiscal years 2018 - 2022 from the PSCOC fund to the PSFA to plan, design and install security systems and for repairs, renovation, or replacement of school security systems statewide, contingent upon the approval of the PSCOC \$6.0 million.

SB239 was also included in this session. Up to \$10.0 million of the fund may be expended in each of fiscal years 2019 - 2022 for school security system project grants made in accordance with Section 22-24-4.7 NMSA 1978.

The financial plan represents actuals for FY19 and out-years is based on PSCOC discretion and may be adjusted based upon applications received.

Broadband Deficiencies Correction Program are amounts from 51st Legislature, 2nd Session, 2014, SB159. Up to \$10.0 million

Project Awards Schedule

Amounts in the Schedule are the total state share phase award amounts grouped by award year and phase (Design & Construction). Design phases are indicated with the color purple; construction phase(s) are indicated with the color green. Uncertified phases are indicated in italics. Partially certified phases are indicated with italics and an asterisk (*). Funding needs are estimated by phase and across fiscal years based on project schedules. Phase award amounts and schedules are estimates prepared and updated by PSFA on a monthly basis.

Legend	
Purple Text	Awarded Design
Purple Highlight	Pending Design Award
Green Text	Awarded Construction
Green Highlight	Pending Construction Award
\$1,000,000	Numbers in italics indicate bonds have not been certified.

PSCOC FUND PROJECT AWARD SCHEDULE DETAIL - Representation of Uncommitted Balance in FY20

November 8, 2021

														Current Quarter																
						FY 2020				FY 2021				FY 2022				FY 2023				FY 2024								
						\$33,229,031				\$47,874,034				\$173,564,612				\$209,834,651				\$181,521,934								
						\$166,775	\$4,057,519	\$474,775	\$28,529,962	\$275,130	\$7,349,477	\$15,349,628	\$24,899,799	\$70,408,921	\$8,602,548	\$7,341,866	\$87,211,278	\$181,064,130	\$22,897,259	\$0	\$5,873,263	\$181,521,934	\$0	\$0	\$0					
Prior Year AWARDS						Planning	Design	Construction	FY20 Q1	FY20 Q2	FY20 Q3	FY20 Q4	FY21 Q1	FY21 Q2	FY21 Q3	FY21 Q4	FY22 Q1	FY22 Q2	FY22 Q3	FY22 Q4	FY23 Q1	FY23 Q2	FY23 Q3	FY23 Q4	FY24 Q1	FY24 Q2	FY24 Q3	FY24 Q4		
	P07-005	Deming (Arbitrage 2017_Q2 and 2018_Q3)	Deming High	\$2,700,000	\$53,600,000	\$53,600,000	\$4,149,011																							
	C10-001	NMSD	Deficiencies		\$1,796,446	\$1,796,446																								
for FY23, \$2,09																														
						\$32,070,410	\$399,670,137	\$399,441,204	\$0	\$0	\$0	\$4,149,011	\$0	\$0	\$0	\$0					\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0		
										\$4,149,011												\$0	\$0	\$0	\$0					
	P12-006	Espanola	Velarde ES	\$0	\$0	N/A																								
	C19-001	Grants (SSTB18SB 0004 A81) - Reserve for Contingency	Grants HS	\$0	\$900,000	N/A	\$5,855																							
						\$0	\$0	\$0	\$5,855	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0		
										\$5,855																				

FY14 AWARDS			Planning	Design	Construction	FY20 Q1	FY20 Q2	FY20 Q3	FY20 Q4	FY21 Q1	FY21 Q2	FY21 Q3	FY21 Q4	FY22 Q1	FY22 Q2	FY22 Q3	FY22 Q4	FY23 Q1	FY23 Q2	FY23 Q3	FY23 Q4	FY24 Q1	FY24 Q2	FY24 Q3	FY24 Q4		
	P14-005	Belen (SSTB17SB A78 STB17A A71)	Rio Grande ES		\$1,004,271	\$6,205,493							\$99,117														
	P14-008	Deming (SSTB16SB - A61)	Deming Intermediate School		\$1,157,300	\$13,711,187			\$940,908																		
	P14-019	NMSBVI (Reauthorized 2017 Session per HB55) (STB17A A71) Construction to begin 2018_Q1	Quimby Gymnasium (HB55 50% PSCOC award 50%) HB55 reauthorized; expenditure in fiscal years 2014-2018		\$184,402	\$2,269,807			\$2,269,807																		
	P14-020	NMSBVI (Reauthorized 2017 Session per HB55) (SSTB18SD 0001 A82)	Sacramento Dormitory (HB 55 50% PSCOC award 50%) HB55 reauthorized; expenditure in fiscal years 2014-2018;		\$229,442	\$0							\$0				\$0										
	P14-021	NMSBVI (SSTB14SD 0001) (Certification deadline 6/30/2016 per HB55)	Recreation / Ditzler Auditorium(H B55 50%)		\$411,700	\$4,563,592			\$138,286																		
							\$0	\$2,269,807	\$0	\$1,079,194	\$0	\$0	\$0	\$99,117	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0		
							\$3,349,001			\$99,117			\$0			\$0			\$0			\$0			\$0		

FY15 AWARDS			Planning	Design	Construction	FY20 Q1	FY20 Q2	FY20 Q3	FY20 Q4	FY21 Q1	FY21 Q2	FY21 Q3	FY21 Q4	FY22 Q1	FY22 Q2	FY22 Q3	FY22 Q4	FY23 Q1	FY23 Q2	FY23 Q3	FY23 Q4	FY24 Q1	FY24 Q2	FY24 Q3	FY24 Q4
	P15-001	Alamogordo	Combined ES			\$13,005,060																			
			Parkview Elementary School (Arbitrage 2018_Q2)																						
	P15-005	Clovis (SSTB16SB - A61)			\$2,024,648	\$11,692,284							\$350,000												
	P15-006	Gallup (SSTB18SB 0004 A81)	Thoreau Elementary School		\$1,867,315	\$13,647,522				\$7,221,210				\$350,924											
		Gallup (2015B-LTD Partial \$9,270,979; SSTB16SB -A61 \$2,570,301; SSTB14SB-A41 \$4,654,153)	Combined Elementary School (Lincoln)		\$1,832,826	\$16,495,433																			
	P15-007		Garrett Dormitory		\$249,238	\$5,941,345	\$166,775						\$63,505	\$5,321,854			\$619,491								
	P15-009	NMSBVI (SSTB18SD 0001 A82)																							

Legend	
Purple Text	Awarded Design
Purple Highlight	Pending Design Award
Green Text	Awarded Construction
Green Highlight	Pending Construction Award
\$1,000,000	Numbers in italics indicate bonds have not been certified.

PSCOC FUND PROJECT AWARD SCHEDULE DETAIL - Representation of Uncommitted Balance in FY20

November 8, 2021

FY 2020										FY 2021				Current Quarter	FY 2022			FY 2023				FY 2024																					
	P15-010	NMSD (Reauthorized 2017 Session per HB55; June 2017 SSTB & LTD)	Cartwright Hall(HB55 50% PSCOC award 50%)		\$703,837	\$5,460,741																																					
	P15-013	Ruidoso	Nob Hill Elementary School	\$0	\$1,111,088																																						
				\$10,881,937	\$28,032,283		\$166,775	\$0	\$0	\$7,748,225	\$0	\$63,505	\$350,000	\$5,321,854	\$350,924	\$0	\$0	\$619,491	\$0	\$0	\$0	\$0	\$0	\$0	\$0																		
								\$7,915,000								\$5,735,359								\$970,415								\$0								\$0			

FY16 AWARDS			Planning	Design	Construction	FY20 Q1	FY20 Q2	FY20 Q3	FY20 Q4	FY21 Q1	FY21 Q2	FY21 Q3	FY21 Q4	FY22 Q1	FY22 Q2	FY22 Q3	FY22 Q4	FY23 Q1	FY23 Q2	FY23 Q3	FY23 Q4	FY24 Q1	FY24 Q2	FY24 Q3	FY24 Q4
	P16-001	Clovis (SSTB16SB - A61 design)	Highland Elementary School	\$76,000	\$1,138,683	\$10,148,633																			
	P16-002	Espanola (SSTB15SB 0001 design) (Arbitrage 2017_Q1) (SSTB17SB A78 \$709,050.80; STB17A A71 \$1,073,481.20)	Abiquiu ES	\$63,000	\$135,059	\$1,782,532																			
				\$212,000	\$3,306,742	\$26,385,165	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
								\$0					\$0					\$0					\$0		

FY18 AWARDS			Planning	Design	Construction	FY20 Q1	FY20 Q2	FY20 Q3	FY20 Q4	FY21 Q1	FY21 Q2	FY21 Q3	FY21 Q4	FY22 Q1	FY22 Q2	FY22 Q3	FY22 Q4	FY23 Q1	FY23 Q2	FY23 Q3	FY23 Q4	FY24 Q1	FY24 Q2	FY24 Q3	FY24 Q4
	S18-003	Las Vegas City (June 2017 SSTB & LTD)	Los Niños Elementary School		\$2,086,021	\$1,671,818																			
	E18-001	Santa Rosa (SSTB16SB A61)	Anton Chico Elementary School			\$150,000																			
	E18-002	Des Moines (SSTB16SB A61)	De Moines Combined School			\$125,000																			
	S18-004	Clovis (SSTB17SD A79 STB15SC A76 and STB16A A77)	Cameo Elementary School			\$1,236,078																			
	S18-005	Clovis (SSTB17SD A79)	Mesa Elementary School		\$838,172	\$770,217																			
	S18-006	Dexter (SSTB15SB A51 STB15A A74 and STB15SC A76)	Dexter Elementary School			\$673,256																			
	S18-007	Farmington (SSTB17SD A79)	Country Club Elementary School			\$3,129,934																			
	S18-008	Floyd	Floyd Combined School (SSTB16SB A61)			\$79,637																			
	S18-009	Gadsden (SSTB16SB A61x STB15A A74 and STB17SC A80)	Loma Linda Elementary School			\$6,431,950																			
	S18-010	Los Alamos (SSTB17SD A79 SSTB16SB A61)	Mountain Elementary School			\$1,977,215																			
				\$0	\$1,671,818	\$0	\$3,454,128	\$0	\$0	\$410,058	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
								\$5,125,946					\$410,058					\$0					\$0		

FY19 AWARDS			Planning	Design	Construction	FY20 Q1	FY20 Q2	FY20 Q3	FY20 Q4	FY21 Q1	FY21 Q2	FY21 Q3	FY21 Q4	FY22 Q1	FY22 Q2	FY22 Q3	FY22 Q4	FY23 Q1	FY23 Q2	FY23 Q3	FY23 Q4	FY24 Q1	FY24 Q2	FY24 Q3	FY24 Q4
	P19-001	Alamogordo (SSTB18SB 0004 A81 \$2,120,881) ; (SSTB18SD 0001 A82 \$19,087,929)	Holloman ES		\$2,120,881	\$19,087,929																			
	P19-002	Belen (SSTB18SB 0004 A81 \$42,750); (SSTB18SD 0001 A82 \$934,058.80)	Jaramillo ES	\$42,750	\$934,059	\$8,791,279																			
	P19-003	Gallup (SSTB18SB 0004 A81 \$60,000); (SSTB18SD 0001 A82 \$2,407,436.60)	Rocky View / Red Rock ES	\$60,000	\$2,407,437	\$22,206,929																			

Legend	
Purple Text	Awarded Design
Purple Highlight	Pending Design Award
Green Text	Awarded Construction
Green Highlight	Pending Construction Award
\$1,000,000	Numbers in italics indicate bonds have not been certified.

PSCOC FUND PROJECT AWARD SCHEDULE DETAIL - Representation of Uncommitted Balance in FY20

November 8, 2021

FY 2020										FY 2021				Current Quarter	FY 2022			FY 2023			FY 2024						
	P19-004	Gallup (SSTB18SB 0004 A81 \$60,000); (SSTB18SD 0001 A82 \$2,453,972)	Tohatchi HS	\$60,000	\$2,800,563	\$22,625,748			\$17,473	\$42,527		\$2,800,563			\$22,625,748												
	P19-005	Las Cruces (SSTB18SB 0004 A81 \$366,400); (SSTB18SD 0001 A82 \$3,297,600)	Desert Hills ES		\$366,400	\$6,294,619		\$258,867		\$107,533				\$6,294,619													
	P19-006	Las Vegas (SSTB18SB 0004 A81 \$447,398); (SSTB18SD 0001 A82 \$4,026,585)	Sierra Vista ES		\$447,398	\$4,026,585						447398				\$4,026,585											
	P19-008	Los Lunas (SSTB18SD 0001 A82 \$1,350,212.90)	Peralta ES	\$0	\$1,350,213	\$12,151,916					\$1,350,213				\$12,151,916												
	P19-009	Roswell (SSTB18SB 0004 A81 \$1,158,868); (SSTB18SD 0001 A82 \$10,429,808)	Mesa MS		\$1,158,868	\$10,429,808			\$781,348	\$377,520		10429808															
	P19-010	Roswell (SSTB18SB 0004 A81 \$53,250); (SSTB18SD 0001 A82 \$666,202.80)	Nancy Lopez ES	\$53,250	\$1,494,488	\$6,475,075				\$53,250		1494488				\$6,475,075											
	P19-011	Zuni (SSTB18SB 0004 A81 \$75,000); (SSTB18SD 0001 A82 \$1,904,314.30)	Zuni MS	\$75,000	\$1,904,314	\$17,813,829			\$16,350	\$58,650				\$1,904,314			\$17,813,829										
	S19-002	Alamogordo (SSTB18SB 0004 A81)	Buena Vista	\$0	\$0	\$664,286						\$664,286															
	S19-001	Alamogordo (SSTB18SB 0004 A81)	Sacramento	\$0	\$0	\$700,000			\$50,883	\$649,117																	
	S19-003	Belen (SSTB18SB 0004 A81)	Chavez ES	\$0	\$0	\$1,457,542						\$1,457,542															
	S19-004	Bernalillo (SSTB18SB 0004 A81)	Bernalillo MS	\$0	\$0	\$1,641,697			\$159,573	\$1,482,124																	
	S19-005	Carrizozo (SSTB18SB 0004 A81)	Combined	\$0	\$0	\$0																					
	S19-006	Cloudcroft (SSTB18SB 0004 A81)	OFFSET	\$0	\$0	\$0																					
	S19-007	Deming (SSTB18SB 0004 A81)	Chaparral ES	\$0	\$0	\$1,610,962			\$1,196,795	\$414,167																	
	S19-008	Floyd (SSTB18SB 0004 A81)	Combined	\$0	\$0	\$426,097			\$281,870																		
	S19-009	Las Cruces (SSTB18SB 0004 A81)	Fairacres ES	\$0	\$0	\$314,515				\$314,515																	
	S19-019	Las Cruces (SSTB18SB 0004 A81)	Highland ES	\$0	\$0	\$229,869				\$229,869																	
	S19-020	Las Cruces (SSTB18SB 0004 A81)	Hillrise ES	\$0	\$0	\$39,110				\$39,110																	
	S19-010	Las Cruces (SSTB18SB 0004 A81)	Lynn MS	\$0	\$0	\$2,718,886				\$252,409		\$2,466,477															
	S19-021	Las Cruces (SSTB18SB 0004 A81)	Mayfield HS	\$0	\$0	\$245,368				\$22,721	\$222,647																
	S19-011	Las Cruces (SSTB18SB 0004 A81)	Leadership	\$0	\$0	\$764,008						\$764,008															
	S19-022	Las Cruces (SSTB18SB 0004 A81)	Oñate HS	\$0	\$0	\$329,147				\$329,147																	
	S19-023	Las Cruces (SSTB18SB 0004 A81)	Picacho MS	\$0	\$0	\$141,238			\$14,152	\$127,086																	
	S19-012	Las Cruces (SSTB18SB 0004 A81)	Rio Grande	\$0	\$0	\$695,031			\$58,363	\$636,668																	
	S19-024	Las Cruces (SSTB18SB 0004 A81)	Vista MS	\$0	\$0	\$58,807			\$8,063	\$50,744																	
	P19-007	Los Alamos (SSTB18SB 0004 A81)	Mesa ES	\$0	\$0	\$8,835,123			\$4,929,738																		
	S19-013	Los Lunas (SSTB18SB 0004 A81)	Los Lunas MS	\$0	\$0	\$5,964,611			\$1,653,676			\$4,310,935															
	S19-014	Magdalena (SSTB18SB 0004 A81)	Combined	\$0	\$0	\$403,925			\$37,980	\$365,945																	
	P19-015	Socorro (SSTB18SB 0004 A81)	Sarracino MS	\$54,000	\$857,399	\$16,720,995	\$30,812			\$23,188	\$857,399				\$16,720,995												
	S19-016	Socorro (SSTB18SB 0004 A81)	Socorro HS	\$0	\$0	\$2,845,583			\$2,165,543	\$680,040																	
	S19-017	Tularosa (SSTB18SB 0004 A81)	Tularosa MS	\$0	\$0	\$53,250			\$7,530	\$45,720		\$700,000															
	S19-018	West Las Vegas (SSTB18SB 0004 A81)	Jr., ES	\$0	\$0	\$619,202						\$619,202															
				\$0	\$0	\$289,679	\$12,093,549		\$275,130	\$2,866,924	\$13,584,197	\$7,811,085	\$28,562,144	\$8,198,933	\$5,726,379	\$37,664,190	\$55,334,338	\$17,813,829	\$0	\$0	\$0	\$0	\$0				
				\$12,383,228					\$24,537,337					\$80,151,646					\$73,148,166					\$0			

FY20 AWARDS			Planning	Design	Construction	FY20 Q1	FY20 Q2	FY20 Q3	FY20 Q4	FY21 Q1	FY21 Q2	FY21 Q3	FY21 Q4	FY22 Q1	FY22 Q2	FY22 Q3	FY22 Q4	FY23 Q1	FY23 Q2	FY23 Q3	FY23 Q4	FY24 Q1	FY24 Q2	FY24 Q3	FY24 Q4
P20-001	Alamogordo (SSTB19SD 0004 A92)	Chaparral MS		\$2,162,755	\$19,464,797			\$35,097					\$2,162,755				\$19,464,797								
P20-002	Central (SSTB19SD 0004 A92)	Newcomb ES	\$25,000	\$1,017,543	\$13,565,564		\$22,144						\$508,772	\$508,772			\$13,565,564								
P20-003	Roswell (SSTB18SD 0001 A82 \$1,807,637)	Mountain View MS		\$1,807,637	\$16,268,730									\$1,807,637				\$16,268,730							
P20-004	Hobbs (SSTB18SD 0001 A82 \$1,354,716)	Southern Heights ES		\$1,354,716	\$13,993,882								\$1,354,716				\$13,993,882								
P20-005	Las Cruces (SSTB18SD 0001 A82 \$42,750)	Columbia ES	\$42,750	\$1,707,009	\$21,727,156		\$42,750							\$1,707,009				\$21,727,156							
P20-006	Roswell (SSTB18SD 0001 A82 \$51,000)	Washington Avenue ES	\$51,000	\$601,585	\$5,873,263		\$51,000										\$601,585				\$5,873,263				
P20-007	Des Moines	Des Moines Combined	\$0	\$144,641	\$1,301,768		\$0							\$221,381			\$1,301,768								
P20-008	Grants (SSTB18SD 0001 A82 \$548,021)	Bluewater ES		\$548,021	\$5,083,430								\$548,021						\$5,083,430						
P20-009	Clovis (SSTB18SD 0001 A82 \$2,797,084)	Barry ES		\$2,797,084	\$0								\$2,797,084												
S20-001	Roswell (SSTB18SD 0001 A82 \$234,600)	Roswell HS		\$234,600	\$0									\$234,600											

Legend	
Purple Text	Awarded Design
Purple Highlight	Pending Design Award
Green Text	Awarded Construction
Green Highlight	Pending Construction Award
\$1,000,000	Numbers in italics indicate bonds have not been certified.

PSCOC FUND PROJECT AWARD SCHEDULE DETAIL - Representation of Uncommitted Balance in FY20

November 8, 2021

											Current Quarter																			
FY 2020							FY 2021				FY 2022				FY 2023				FY 2024											
	S20-002	Gallup-McKinley (SSTB18SD 0001 A82 \$832,799) (SSTB19SB 0001 A91 \$2,650,525)	Gallup HS		\$3,483,324	\$265,503							\$348,332	\$3,134,992	\$265,503															
	S20-003	Clovis (SSTB19SB 0001 A91 \$54,638) (SSTB18SD 0001 A82 \$491,744)	Clovis HS		\$54,638	\$491,744							\$54,638	\$491,744																
	S20-004	Gallup-McKinley (SSTB19SB 0001 A91 \$1,450,160)			\$1,420,160	\$106,512							\$142,016	\$1,278,144	\$106,512															
	S20-005	San Jon (SSTB19SB 0001 A91 \$166,299)(SSTB18SD 0001 A82 \$1,615,487)	San Jon Combined School		\$152,006	\$1,615,487							\$152,006			\$1,615,487														
	S20-006	Gallup-McKinley (SSTB19SB 0001 A91 \$421,336)	Tse Yi Gai HS		\$421,336	\$31,600							\$42,134	\$379,203	\$31,600															
	S20-007	Hobbs (SSTB19SB 0001 A91 \$29,728)	Hobbs HS		\$29,728	\$267,552							\$29,728	\$267,552																
	S20-008	Portales (SSTB19SB 0001 A91 \$299,751)	Brown Early Childhood Center		\$299,751	\$2,697,762							\$299,751	\$2,697,762																
	S20-009	Las Cruces (SSTB19SB 0001 A91 \$764,008)	Valley View ES			\$764,008									\$764,008															
	S20-010	Hobbs (SSTB19SB 0001 A91 \$334,286)	Mills ES			\$334,286									\$334,286															
		Contingency for Waivers		\$4,596,385	\$0	\$0																								
	E20-001	Mora	Lift/Pump Station and Sewer Line Repair Emergency	\$150,000	\$0	\$0																								
				\$4,865,135																										
					\$0	\$115,894	\$185,097	\$0		\$0	\$54,638	\$1,005,373	\$11,667,742	\$9,539,289	\$403,615	\$1,615,487	\$48,927,596	\$37,995,886	\$5,083,430	\$0	\$5,873,263	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
						\$300,991						\$12,727,754				\$60,485,987			\$48,952,579									\$0		

														70%											30%			
FY21 AWARDS				Planning	Design	Construction	FY20 Q1	FY20 Q2	FY20 Q3	FY20 Q4	FY21 Q1	FY21 Q2	FY21 Q3	FY21 Q4	FY22 Q1	FY22 Q2	FY22 Q3	FY22 Q4	FY23 Q1	FY23 Q2	FY23 Q3	FY23 Q4	FY24 Q1	FY24 Q2	FY24 Q3	FY24 Q4		
															\$26,127,718					\$64,300,495				\$88,802,439				
	P21-001	P21 Zuni (SSTB19SD 0004 A92 \$75,000)	TwinButtes HS, Zuni HS	\$75,000								\$75,000																
	P21-003	P21 Gallup (SSTB19SD 0004 A92 \$101,250)	Gallup HS	\$101,250								\$101,250																
	P21-005	P21 Gallup (SSTB19SD 0004 A92 \$60,750)	Crownpoint HS	\$60,750	\$350,924							\$60,750			\$350,924													
	P21-006	P21 Gallup (SSTB19SD 0004 A92 \$60,750)	Navajo Pine HS	\$60,750								\$60,750																
	P21-007	P21 Grants (SSTB19SD 0004 A92 \$1,796,022)	Mesa View ES	\$1,796,022								\$1,796,022																
	S21-001	S21 Las Cruces (SSTB19SD 0004 A92 \$165,548)	Tombaugh ES	\$165,548	\$1,489,934							\$165,548																
	S21-002	S21 Clovis (SSTB19SD 0004 A92 \$967,357)	Clovis HS	\$967,357								\$967,357																
	S21-003	S21 Las Cruces (SSTB19SD 0004 A92 \$139,862)	Onate HS	\$139,862	\$1,258,757							\$139,862																
	S21-004	S21 Gallup (SSTB19SD 0004 A92 \$777,474)	Tohatchi MS	\$777,474								\$777,474																
	S21-005	S21 Hatch Valley (SSTB19SD 0004 A92 \$220,397)	Hatch Valley HS	\$220,397								\$220,397																
					\$0	\$0									\$2,700,000													
										\$0	\$0	\$0	\$0	\$0	\$4,364,410	\$0	\$0	\$0	\$0	\$64,300,495	\$0	\$0	\$0	\$0	\$88,802,439	\$0	\$0	\$0
										\$0				\$4,364,410			\$29,178,642	\$0	\$0	\$0	\$64,300,495	\$0	\$0	\$0	\$88,802,439			
														\$4,364,410			\$29,178,642			\$64,300,495			\$64,300,495			\$88,802,439		

																	70%					30%				
FY22 AWARDS				Planning	Design	Construction	FY20 Q1	FY20 Q2	FY20 Q3	FY20 Q4	FY21 Q1	FY21 Q2	FY21 Q3	FY21 Q4	FY22 Q1	FY22 Q2	FY22 Q3	FY22 Q4	FY23 Q1	FY23 Q2	FY23 Q3	FY23 Q4	FY24 Q1	FY24 Q2	FY24 Q3	FY24 Q4
		P22 Gadsden	Gadsden MS	\$25,300	\$3,317,645	\$29,858,810									\$25,300				\$3,317,645				\$29,858,810			
		P22 Gadsden	Chaparral MS	\$52,500	\$2,705,845	\$24,352,605									\$52,500				\$2,705,845				\$24,352,605			
		P22 Los Alamos	Chamisa ES		\$409,195	\$3,682,754									\$409,195				\$3,682,754							
		P22 - Los Alamos	Pinon ES		\$501,411	\$4,512,703									\$501,411				\$4,512,703							
		P22 - Los Lunas	Ann Parrish ES	\$42,000	\$1,723,120	\$15,508,080									\$42,000				\$1,723,120				\$15,508,080			

Legend	
Purple Text	Awarded Design
Purple Highlight	Pending Design Award
Green Text	Awarded Construction
Green Highlight	Pending Construction Award
\$1,000,000	Numbers in italics indicate bonds have not been certified.

PSCOC FUND PROJECT AWARD SCHEDULE DETAIL - Representation of Uncommitted Balance in FY20

November 8, 2021

FY 2020										Current Quarter	FY 2022				FY 2023				FY 2024			
		P22 - Mosquero	Mosquero Combined School	\$54,923		\$1,110,808				\$54,923		\$1,110,808										
		S22 - Floyd	Floyd Combined School		\$50,622	\$518,595				\$50,622		\$518,595										
		S22 - House	House Combined			\$65,661				\$65,661												
		S22 - Las Vegas City	Demolition of unused school building			\$155,721				\$155,721												
		S22 - Portales	Portales HS			\$223,086						\$223,086										
		S22 - Portales	James ES		\$96,862	\$1,098,443				\$96,862		\$1,098,443										
		S22 - Raton	Longfellow ES			\$98,081				\$98,081												
		S22 - Raton	Raton HS			\$280,339				\$280,339												
		S22 - Raton	Raton Intermedate School			\$137,927				\$137,927												
		S22 - Raton	Columbian ES			\$386,050				\$386,050												
		S22 - Truth or Consequences	Sierra ES		\$26,712	\$240,412				\$26,712		\$240,412										
		S22 - Tularosa	Tularosa Intermediate School			\$394,619				\$394,619												
							\$0	\$0	\$0	\$0	\$0	\$0	\$2,777,923		\$19,133,411	\$0	\$0	\$0	\$69,719,495	\$0	\$0	\$0
							\$0			\$0			\$2,777,923			\$19,133,411			\$69,719,495			

FY23 AWARDS SCENARIO				Planning	Design	Construction	FY20 Q1	FY20 Q2	FY20 Q3	FY20 Q4	FY21 Q1	FY21 Q2	FY21 Q3	FY21 Q4	FY22 Q1	FY22 Q2	FY22 Q3	FY22 Q4	FY23 Q1	FY23 Q2	FY23 Q3	FY23 Q4	FY24 Q1	FY24 Q2	FY24 Q3	FY24 Q4
			Estimated Standards Awards contingent on PSCOC approval																\$2,000,000				\$16,000,000			
			Estimated Systems Awards contingent on PSCOC approval	\$0	\$0	\$0													\$2,300,000				\$2,700,000			
							\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0				\$4,300,000	\$0	\$0	\$0	\$18,700,000	\$0	\$0	\$0
							\$0				\$0				\$0		\$4,300,000		\$4,300,000				\$18,700,000			

FY24 AWARDS SCENARIO				Planning	Design	Construction	FY20 Q1	FY20 Q2	FY20 Q3	FY20 Q4	FY21 Q1	FY21 Q2	FY21 Q3	FY21 Q4	FY22 Q1	FY22 Q2	FY22 Q3	FY22 Q4	FY23 Q1	FY23 Q2	FY23 Q3	FY23 Q4	FY24 Q1	FY24 Q2	FY24 Q3	FY24 Q4
			Estimated Standards Awards contingent on PSCOC approval	\$7,500,000	\$47,250,000	\$20,250,000																	\$2,000,000			
			Estimated Systems Awards contingent on PSCOC approval	\$0	\$0	\$0																	\$2,300,000			
				\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$4,300,000	\$0	\$0	\$0
				\$0				\$0				\$0				\$0				\$0				\$4,300,000		\$0

District Local Match Advances

November 8, 2021

Repayment Schedule - For Planning Purposes Only

				#REF!		\$1,027,957	\$548,788	\$548,788	\$548,788	\$548,788	\$548,788	
	District	Project Number	School	Status	Outstanding Balance	Repayment Due Date	FY21	FY22	FY23	FY24	FY25	FY26
1	Jemez Mountain A22 91572	E07-001	Gallinas Campus	6/2013 Received correspondence from district - discussing repayment options with School Board 7/2013, 9/2013 Follow-up email to district: no response 11/2013 Will request district to present update at April PSCOC meeting 3/2014 Received statement of financial position: needs continued review: will revisit for May 2014 PSCOC meeting. 7/2015 Requested district to provide advance repayment plan for Council review 10/2015 Jemez is presenting repayment plan to PSCOC for consideration 10/05/15 Council approved a repayment plan: \$75,000 due by 6/30/17: \$50,000 each year thereafter due on or before 6/30 of each fiscal year until paid in full. Council did not reduce the advance amount as requested by Jemez. 11/10/15 sent email and mailed invoice 03/23/16 received email confirmation from Superintendent of intention to pay 1st installment by 6/30/16 04/25/16 \$75,000 payment received. 10/07/16 sent email and mailed invoice for \$50,000 FY17 payment due 04/20/17 \$50,000 payment received 04/17/18 Billed 3rd installment \$50,000 06/01/18 \$50,000 payment received 03/11/19 sent email and mailed invoice for \$50,000 4th of 6 installments 05/05/19 \$50,000 payment received 02/23/21 \$50,000 payment received	\$38,259	6/30/2021	\$38,259					
2	Capitan A33P13003 91572	P13-003	Capitan Elementary School and High School	06/25/14 Awarded. To be repaid by FY2018Q2. 05/11/17 Advance reduced by \$1,507,272 based upon actual expenditures in project. 05/08/18 PSCOC approved installment payments plus balloon payment. \$500,000 due 6/30/18. 06/30/19 and 6/30/20 with balloon payment \$3,792,728 due 6/30/21 06/15/18 \$500,000 payment received 03/12/19 sent email and mailed invoice for \$500,000 due 6/30/19 05/23/19 Sent follow-up email to district regarding invoice sent on 3/12/19 06/12/19 Received payment from Capitan Public Schools \$500,000	\$3,292,728	06/2021 to 06/2026	\$548,788	\$548,788	\$548,788	\$548,788	\$548,788	\$548,788
3	Cloudcroft A42E15002 91572	E15-002	Cloudcroft High School - Masonry	12/15/14 Awarded. To be repaid by FY2017Q2. Advance to be repaid in 2 years: district to report back to PSCOC in 1 year with plan to repay the advance. Emergency award in the form of an advance to complete renovations/repairs to the veneer wall repairs at Cloudcroft HS up to \$1,001,791. The district shall pursue legal remedy to recover the costs associated with this emergency work. 03/03/16 Award reduction \$500,000: insurance settlement received by the district to assist in payment of masonry work contracted for replacement. 04/13/17 Extend advance repayment to May 2018 05/08/18 PSCOC approved repayment plan \$250,896 due 6/30/19 and 6/30/20 03/12/19 Sent email and mailed invoice for \$250,896 due 6/30/19 05/23/19 Sent follow-up email to district regarding invoice sent on 3/12/19 06/12/19 Payment received from Cloudcroft Public Schools \$250,896 07/17/20Payment received from Cloudcroft PS \$250,896	\$0							
4	Mesa Vista A51P14018 91672	P14-018	Ojo Caliente ES - Phase II	11/05/15 Motion approved by Council: Amend the 2013-2014 standards based award to the Mesa Vista Consolidated School for Ojo Caliente ES to include construction to adequacy for 135 students, grades K-8, with an increase in the state share amount of \$3,909,137 (46%) and partial waiver of \$666,987 and partial advance of \$440,910 for district administrative space to be paid back in four years or FY21.	\$440,910	6/30/2021	\$440,910					

Reserve for Contingencies Report

November 8, 2021

Beginning Reserve Balance						\$ 4,000,000	\$ 4,000,000	\$ 4,000,000	\$ 4,000,000	\$ 4,000,000
Carry Forward Reserve Balance										
Subtotal of Adjustments						\$ -	\$ -	\$ -	\$ -	\$ -
Reserve Balance						\$ 4,000,000	\$ 4,000,000	\$ 4,000,000	\$ 4,000,000	\$ 4,000,000
						FY21	FY22	FY23	FY24	FY25
District	Date of Adjustment	Project Number	School	Financial Plan Estimate Changes		Adjustments Inc/(Dec)	Adjustments Inc/(Dec)	Adjustments Inc/(Dec)	Adjustments Inc/(Dec)	Adjustments Inc/(Dec)
1										
2										
3										
4										
5										
6										

PSCOC FUND BALANCE 10/26/2021

Pool	Title	Appr Id	Chapter	Laws	Section	Amount Sold	Amount Budgeted	Amount Expend	Amount Revert	Balance as of 8/23/2021	Balance as of 10/26/2021	Change Since Last Meeting	
SSTB10SC	LEASE ASSISTANCE	SSTB10SC 0002	338	2001		\$9,751,689.00	\$9,751,689.00	\$9,751,688.10	\$0.00	\$0.90	\$0.90	\$0.00	1
SSTB11SD	PSFA - NMSBVI Ditzler Auditorium	SSTB11SD 14-2172	338	2001		\$103,876.00	\$103,876.00	\$103,875.80	\$0.20	\$0.00	\$0.00	\$0.00	2
SSTB11SD	PSFA - NMSBVI Quimby Gymnasium and Natatorium	SSTB11SD 14-2173	338	2001		\$92,201.00	\$92,201.00	\$78,425.88	\$0.00	\$13,775.12	\$13,775.12	\$0.00	3
SSTB11SD	PSFA - NMSBVI Sacramento Dormitory	SSTB11SD 14-2174	338	2001		\$114,721.00	\$114,721.00	\$14,169.01	\$0.00	\$100,551.99	\$100,551.99	\$0.00	4
SSTB11SD	PSFA - NMSD Cartwright Hall	SSTB11SD 14-2175	338	2001		\$703,837.00	\$703,837.00	\$584,449.51	\$0.00	\$119,387.49	\$119,387.49	\$0.00	5
SSTB12SD	PUBLIC SCHOOL CAPITAL OUTLAY PROJECTS	SSTB12SD 0002	338	2001		\$14,818,863.00	\$14,818,863.00	\$9,551,455.08	\$0.00	\$5,267,407.92	\$5,267,407.92	\$0.00	6
SSTB13SB	PUBLIC SCHOOL CAPITAL OUTLAY PROJECTS	SSTB13SB 0003	338	2001		\$56,221,162.00	\$56,198,603.40	\$52,160,009.41	\$426,435.63	\$3,776,516.28	\$3,634,716.96	\$141,799.32	7
SSTB13SE	PUB. SCHL. CAPITAL OUTLAY PROJECTS	SSTB13SE 0001	338	2001		\$110,000,000.00	\$109,000,000.00	\$104,682,435.61	\$4,543,189.58	\$774,374.81	\$774,374.81	\$0.00	8
SSTB14SB	PUB. SCHL. CAPITAL OUTLAY PROJECTS	SSTB14SB 0001	338	2001		\$45,159,500.00	\$45,083,936.45	\$39,840,208.36	\$29,449.00	\$5,289,842.64	\$5,289,842.64	\$0.00	9
SSTB14SD	PUBLIC SCHOOL CAPITAL OUTLAY PROJECTS	SSTB14SD 0001	338	2001		\$154,580,500.00	\$154,264,615.78	\$138,696,900.61	\$0.00	\$15,883,599.39	\$15,883,599.39	\$0.00	10
SSTB15B	PUBLIC SCHOOL CAPITAL OUTLAY PROJECTS	SSTB15B 0001				\$80,961,202.00	\$80,961,202.00	\$70,060,193.81	\$0.00	\$10,901,008.19	\$10,901,008.19	\$0.00	11
SSTB15SB	PUBLIC SCHOOL CAPITAL OUTLAY PROJECTS	SSTB15SB 0001	338	2001	6/2015 Cert	\$34,690,100.00	\$34,422,214.11	\$25,103,306.23	\$0.00	\$9,586,793.77	\$9,586,793.77	\$0.00	12
SSTB15SD	PUBLIC SCHOOL CAPITAL OUTLAY PROJECTS	SSTB15SD 0001	338	2001		\$23,203,200.00	\$23,201,410.00	\$23,115,833.84	\$0.00	\$87,366.16	\$87,366.16	\$0.00	13
SSTB16SB	PSCOC CAPITAL OUTLAY PROJECTS	SSTB16SB 0001	338	2001	6/2016 Cert	\$66,986,200.00	\$66,986,200.00	\$49,014,077.07	\$0.00	\$17,973,741.02	\$17,972,122.93	\$1,618.09	14
SSTB16SB	PSCOC CAPITAL OUTLAY PROJECTS	SSTB16SB 0002	338	2001	6/2016 Cert	\$14,600,000.00	\$14,600,000.00	\$14,592,982.27	\$0.00	\$7,017.73	\$7,017.73	\$0.00	15
SSTB17SB	PSCOC CAPITAL OUTLAY PROJECTS	SSTB17SB 0001	338	2001	6/2017 Cert	\$26,542,900.00	\$26,542,900.00	\$22,720,779.22	\$0.00	\$3,822,120.78	\$3,822,120.78	\$0.00	16
SSTB17SD	PSCOC CAPITAL OUTLAY PROJECTS	SSTB17SD 0001	338	2001	12/2018 Cert	\$7,342,300.00	\$7,342,300.00	\$6,828,268.83	\$0.00	\$520,816.63	\$514,031.17	\$6,785.46	17
SSTB18SB	PSCOC CAPITAL OUTLAY PROJECTS	SSTB18SB 0004	338	2001	6/2018 Cert	\$81,679,840.00	\$81,679,840.00	\$51,159,584.75	\$0.00	\$31,562,719.66	\$30,520,255.25	\$1,042,464.41	18
SSTB18SD	PSCOC CAPITAL OUTLAY PROJECTS	SSTB18SD 0001	338	2001	12/2018 Cert	\$72,431,924.96	\$72,431,924.96	\$22,449,350.70	\$0.00	\$50,643,901.65	\$49,982,574.26	\$661,327.39	19
		SSTB18SD 0003	277	2001		\$5,000,000.00		\$0.00	\$0.00	\$5,000,000.00	\$5,000,000.00	\$0.00	20
		SSTB18SD 0004	277	2001		\$10,000,000.00	\$10,000,000.00	\$10,000,000.00	\$0.00	\$0.00	\$0.00	\$0.00	21
STB14A	PUBLIC SCHOOL CAPITAL OUTLAY	STB14A 0001	1	2017	LTB 8/18/17	\$1,352,180.00	\$1,352,180.00	\$1,058,218.83	\$0.00	\$293,961.17	\$293,961.17	\$0.00	22
STB14SA	PUBLIC SCHOOL CAPITAL OUTLAY	STB14SA 0001	1	2017	LTB 8/18/17	\$200,000.00	\$200,000.00	\$200,000.00	\$0.00	\$0.00	\$0.00	\$0.00	23
STB15A	PUBLIC SCHOOL CAPITAL OUTLAY	STB15A 0001	1	2017	LTB 8/18/17	\$2,903,218.00	\$2,903,218.00	\$1,079,146.91	\$0.00	\$1,840,757.99	\$1,824,071.09	\$16,686.90	24
STB15SA	PUBLIC SCHOOL CAPITAL OUTLAY	STB15SA 0001	1	2017	LTB 8/18/17	\$1,259,777.00	\$1,259,777.00	\$1,121,254.10	\$0.00	\$138,522.90	\$138,522.90	\$0.00	25
STB15SC	PUBLIC SCHOOL CAPITAL OUTLAY	STB15SC 0001	1	2017	LTB 8/18/17	\$240,854.10	\$240,854.10	\$189,981.69	\$0.00	\$50,872.41	\$50,872.41	\$0.00	26
STB16A	PUBLIC SCHOOL CAPITAL OUTLAY	STB16A 0001	1	2017	LTB 8/18/17	\$20,000.00	\$20,000.00	\$20,000.00	\$0.00	\$0.00	\$0.00	\$0.00	27
		STB17A 17-001	1	2017		\$57,014,150.90	\$57,014,150.90	\$51,441,943.49	\$0.00	\$5,572,207.41	\$5,572,207.41	\$0.00	28
STB7SC	PUBLIC SCHOOL CAPITAL OUTLAY	STB17SC 17-001	1	2017	LTB 12/2018	\$9,820.00	\$9,820.00	\$1,249.34	\$0.00	\$8,570.66	\$8,570.66	\$0.00	29
		SSTB19SB 0001	1	2017		\$17,800,000.00	\$17,800,000.00	\$234,642.73	\$0.00	\$17,699,182.87	\$17,565,357.27	\$133,825.60	30
		SSTB19SD 0003	1	2017		\$5,000,000.00	\$5,000,000.00	\$0.00	\$0.00	\$5,000,000.00	\$5,000,000.00	\$0.00	31
		SSTB19SD 0004	1	2017		\$140,743,039.00	\$140,743,039.00	\$20,333,179.01	\$0.00	\$124,411,525.54	\$120,409,859.99	\$4,001,665.55	32
		SSTB20SD 0002	1	2017		\$60,429,031.00	\$60,429,031.00	\$0.00	\$0.00	\$60,429,031.00	\$60,429,031.00	\$0.00	33
		SSTB20SB	1	2017		\$53,424,820.00	\$0.00	\$17,951,990.78	\$0.00	\$36,227,210.89	\$35,472,829.22	\$754,381.67	34
		SSTB21SB	1	2017		\$150,805,730.00	\$0.00	\$0.00	\$0.00	\$150,805,730.00	\$150,805,730.00	\$0.00	35
Total for Agency:		94000				\$3,149,955,640.86	\$2,716,485,656.60	\$2,578,908,321.47	\$13,999,358.81	\$563,808,514.97	\$557,047,960.58	\$6,760,554.39	36

IV. Consent Agenda

- A. October 12, 2021 PSCOC Meeting Minutes
- B. S19-013 Los Lunas MS – Technical Correction*
- C. S20-007 Hobbs HS – Construction Funding Request*
- D. S22-011 Las Vegas City Paul D. Henry ES – Award
Language Change*
- E. P19-006 Las Vegas City Sierra Vista ES – Award
Language Change*
- F. 2021 Cat2 Final Awards*
- G. 2021-2022 Lease Assistance Remaining Awards*
- H. Recertification of SSTBs*
- I. 2022-2023 Preliminary Ranking*
- J. Roots & Wings – Sale of PSCOC Portable*
- K. De-certification and Recertification of Security Funds*

* Denotes potential action by the PSCOC

**PUBLIC SCHOOL CAPITAL OUTLAY COUNCIL
MEETING MINUTES
STATE CAPITOL BUILDING ROOM 307
October 12, 2021**

Members Present: Mr. Joe Guillen, NMSBA Dr. Vanessa Hawker, LESC
Mr. David Abbey, LFC Mr. David L. Robbins, PEC
Mr. Antonio Ortiz, PED Mr. Clay Bailey, CID
Ms. Ashley Leach, DFA
Ms. Mariana Padilla, Office of the Governor

Designee(s): Clinton Turner for Raul Burciaga

1. **Call to Order** – Chair Guillen called the meeting to order at 1:32 P.M.
 - a. **Approval of Agenda** – Chair Guillen asked if there were any changes to the agenda as presented, as there was none, the agenda was unanimously approved.
 - b. **Correspondence** – None.
2. **Public Comment** – None.
3. **PSCOC Financial Plan**
 - a. **Financial Plan**

Mr. Evans presented the financial plan and documents. Modifications were made to the PSCOC Fund Project Award Schedule Detail for two projects in October 2021; (Socorro) Sarracino MS and (Los Lunas) Los Lunas MS. Both projects were estimated increases to construction and design phases. The figures were not reflected in the favorable or unfavorable category yet because they have not been approved by the Council yet. The changes to the October Financial Plan include changes to Lease Assistance Awards and the Estimated Operational Budget. The Lease Assistance Awards for FY22 was an increase of about \$1.5M based on the Council's approval to add 2% to the MEM rate in September; an estimated 3% increase was applied to FY23, FY24 and FY25 for Lease Assistance. The Operating Budget was submitted for FY23 as an increase of about (\$140,000) over what was projected. FY24 had an increase of \$444,000 and FY25 increased \$763,000.

Ms. Leach asked if PSFA anticipates to bring a recertification not only to Council in November, but also to the Board of Finance for Los Lunas MS and Sarracino MS. Mr. Evans clarified that the recertifications were included in October 2021 Consent Agenda for Lease Assistance as well as Sarracino MS and Los Lunas MS.
4. **Consent Agenda**

- a. Approval of September 13, 2021 Meeting Minutes
- b. 2022-2023 wNMCI Ranking Methodology
- c. Charter Variance Renewal
- d. BDCP – (2019 & 2020) Cat2 Awards
- e. BDCP – (2021) Cat1 Awards
- f. BDCP – (2021) Cat2 Awards
- g. BDCP – E-rate Support for Small School Districts and Charters
- h. Recertification of SSTBs

Mr. Guillen reviewed the items listed on the consent agenda and asked members if any item needed to be pulled for discussion; as there was none, a motion to approve was made.

MOTION: Mr. Robbins moved for Council approval of the consent agenda. Mr. Abbey seconded and **the motion was unanimously approved.**

5. Out-of-Cycle Funding /Award Language Requests
a. P19-015 Socorro, Sarracino MS – Design Funding

Mr. Abbey reviewed the potential motion and executive summary for the proposed increase in funding for (Socorro) Sarracino MS. Ms. Casias highlighted key points on the project. Beginning in 2018, Socorro received a planning award for utilization studies to maximize the use of the existing buildings. The resulting recommendation of that study was to replace the middle school with shared spaces within the high school. This improved the utilization from 50% up to 100% in some cases, especially in classrooms and vocational education facilities. The proposed request was for design funding for the replacement of the middle school, to demolish the existing middle school, and renovation of shared spaces consisting of the cafeteria, vocational education and music education. It is important to note that the estimated out-year construction cost doubled from \$12M in 2018 to \$24M currently. However, back in 2018 the site costs were not considered, which amounted to \$1.1M. The gross square footage cost increased from \$320 per square foot to \$350 per square foot. The amount of gross square footage increased from 36,000 GSF to 39,485 GSF, which is still within the allowable funding. No renovation occurred in 2018 so the 5,188 GSF of renovation cost was still included. Additionally, soft costs were not included in 2018; and now total \$7.3M. There was concern about the utilization for the high school, but if the high school had to be rebuilt for the same number of students, the school would still have the same number of classrooms which is thirty-three in total. Mr. Ron Hendrix, Superintendent of Socorro Consolidated Schools thanked the PSCOC for giving them the opportunity to ask for funding. The Socorro Consolidated Schools community and school board had been pretty thoughtful on the whole process, and has taken time dealing with changes considering a reduction in the square footage. Discussions with New Mexico Tech have begun with possible utilization of the old Sarracino facility as a possible site for community education center. Ms. Padilla asked for clarification, stating that the school district requested demolition funds, but New Mexico Tech was potentially considering to utilize the building. Ms. Casias replied if the school district is unable to dispose the building, the plan would be to demolish the building. The school district is seeking those opportunities; however, the cost for demolition was included as an option to

be determined. A decision as to whether or not the building will be demolished must be determined by the time school district is ready for construction. Mr. Hendrix Socorro Consolidated School District is trying work with New Mexico Tech to reuse these facilities, as they believe it would be a great benefit for community education. Mr. Abbey analyzed the enrollment documentation for the middle school and high school and stated that both were way above capacity and decreasing in enrollment; this is a great project because it produces overall space and it consolidates into one campus. Sarracino MS shows 68% Facility Utilization Rate, 47% Classroom Occupancy Rate. The high school has somewhat low utilization. Mr. Abbey mentioned that the utilization and capacity analysis for Socorro Consolidated Schools table is a very important technical document and the Council should learn more about how to calculate the need for space. Mr. Guillen commented that the Socorro school board has been very supportive on both of these initiatives and is glad to see the project moving along as it has taken some time to make a final decision on the approach.

MOTION: Mr. Guillen moved for Council approval to amend the Standards-based award to Socorro Consolidated Schools for Sarracino MS to include design phase funding for replacement of the existing facility, to construct a new school up to 39,485 GSF, and the renovation of shared spaces within Socorro HS up to 5,188 GSF. With an increase in the state share (72%) for the design phase up to \$1,763,239 and a local share (28%) up to \$685,704. Review of design enrollment shall occur during the design phase with approval of the design enrollment prior to the out-of-cycle construction phase funding request. **The motion was unanimously approved.**

b. P20-002 Central, Newcomb ES – Change in Award Language

Mr. Abbey reviewed the potential motion and executive summary for the (Central) Newcomb ES change in award language. Ms. Casias summarized the reason for the motion, as the district requested adding phases to the existing elementary school award to include additional planning funding for a combined middle school and high school campus, and teacher housing; this request would utilize the remaining previously awarded planning dollars; no additional funding is needed at this time. In 2019, the Newcomb ES planning award was for a campus masterplan Education Specifications to include the elementary school, middle school and high school, which resulted in the planned replacement elementary school. Ms. Casias affirmed that the district is asking for this funding specifically so the Ed Specs can address a combined campus with enrollment and shared spaces in the new combined campus, and additionally to evaluate the building systems. The FCI for the middle school was 67.86%, and the FCI of the high school was 64.31%; as a reminder, when the FCI is 60 or above, generally the PSCOC recommends a building replacement. Mr. Daniel Benavidez, Superintendent of Central Consolidated School District thanked the Council and spoke about how the school district has been working closely with the PSFA and Mr. Abbey on this project the school district was trying to save taxpayers money in the future. The goal was to reduce the size of the facility due to the current enrollment trends, and this will allow the district to move forward and give students what they need. Ms. Candice Thompson, Director of Operations at Central Consolidated School District also thanked the Council, and mentioned that Cooperative Strategies was instrumental to helping the district develop Ed Specs for the elementary school. Getting Cooperative Strategies on board quickly and utilizing Impact Aid funds will save the

Council and taxpayer dollars on this project. Ms. Thompson respectfully asked for the Council to grant this request. Mr. Guillen replied that this was another project that seemed to be looking at enrollment trends and making solid decisions based on that, and also at the same time trying to improve the facilities that are available to those students.

MOTION: Mr. Guillen moved for Council approval to amend the current Standards-based award language to Central Consolidated School for Newcomb ES to include a final planning phase for a combined Middle/High school as Phase two and Teacher Housing as Phase three of the current standards-based award. The final planning phase shall include additional campus master plan tasks to complement the completed elementary school planning phase work, an educational specifications and a building systems analysis for a combined Middle/High School. The amended award qualifies as a standards based project funded at the 2019-2020 state match of 60% and local match of 40%. No additional funding is needed at this time for this final planning phase of work. Upon completion of the planning phase work, the district may return to the PSCOC for out-of-cycle design phase funding to include final approval of the design enrollment, maximum gross square footage pursuant to the Adequacy Planning Guide, and an update to the total estimated project cost for the new combined Middle/High School and Teacher Housing. **The motion was unanimously approved.**

c. S19-013 Los Lunas – Additional Funding Request

Mr. Abbey reviewed the Potential Motion and Executive Summary for (Los Lunas) Los Lunas MS additional funding request. Ms. Casias discussed the reasoning for the increased cost, stating that it was based on an actual bid from the contractor; the bid included an increase to wage rates as they have doubled, also unforeseen drainage issues discovered onsite, which added additional cost. Andy Garcia, Los Lunas Director of Maintenance and Construction spoke on behalf of Superintendent Dr. Arsenio Romero, and thanked the Council for considering the request for extra. Mr. Robbins clarified that the wage rate of \$16 per hour was actually incorrect originally,, and now it is corrected as \$32.00 per hour; the rate went up only because of a correction, this was not really a true increase.

MOTION: Mr. Guillen moved for Council approval to amend the current Systems-based award for Los Lunas MS to include additional funding in the amount of \$3,723,383 with an increase in the state share (76%) for the construction phase up to \$2,836,611 and a local share up (24%) to \$895,772. There will be no expansion of the currently awarded systems. **The motion was unanimously approved.**

d. 2018-2019 Security Projects Bridge Awards

Mr. Abbey reviewed the Potential Motion for the 2018-2019 Security Project Bridge Awards. Ms. Casias reviewed the background of the Executive Summary highlighting HB306, SB39 and SB239. The three bills combined totaled \$16M. The intent of those bills were to allow schools to add security features to their campuses, such as: secure vestibules, cameras, security fencing, and other security measures. The funding was to be spent within three years, ending in October 2021. However, due to a number of circumstances that occurred after the awards in 2018-2019, specifically the COVID-19 Pandemic, many of these project had been

delayed. The PSFA Regional Managers frequently reminded the districts that funds for these projects needed to be spent. Many of the districts were too busy coordinating online learning and handling measures to reopen schools safely during the pandemic. The PSFA had been working with the Council to develop a way to allow for these security projects to be completed, knowing that these funds were going to expire per statute. The Emergency Security Awards would allow an extension for these projects to be completed; however, the language in the motion gives urgency to the matter that these projects need to be completed within the time frame specified. Ms. Casias also cited the list of the various projects from each district, noting the project statuses. Of the 222 awards, approximately 74 projects are complete. 124 projects are ongoing, and 85 projects are under construction. The schools need to re-apply quickly so they can continue making payments to contractors. Twenty-five districts have not started work; there are projects in Chama, Cuba and Espanola that will not pursue their funding at all based on a local decision. The districts that had not started work, but intend to work were Hobbs, Questa, Roswell and Tucumcari. The PSFA will reach out to these districts with a simplified application, asking the district to write the PSFA a letter indicating the amount of dollars that were awarded, the amount of award dollars remaining, and having the districts attest to the timeline stated in the motion. Mr. Guillen reiterated the simplified process, letter format and that there shall be no additional requirements. The Council was doing their best to extend these funds, but there is a need to know if these districts will move their projects forward and utilize the funds on an expeditious basis. Ms. Casias stated that based on the Council approval, the letters describing the process to re-apply would be sent out to school districts the week of October 11, 2021. Mr. Abbey advised to add further statements to the motion. Mr. Abbey also mentioned the Council had been aware of how much time staff were spending on these small projects. Projects range from \$10K-\$100K and some districts received dozens of awards and many of these projects did not move for three years. Mr. Ortiz concluded with the Awards Subcommittee that the requirement to revert the funds was per statute, and there was recognition by staff and members of the emotional background of this funding for safety purposes; therefore there was need to accommodate these districts if it was in reach. Mr. Abbey stated that if districts had not reached the design phase, (about 20 that haven't reached that phase) they would not be eligible to reapply. Any district reapplying would have to move projects expeditiously. Also, by requiring certification by the district superintendents, staff would not have to go through lengthy application review processes. The acceptable amount to revert was noted as \$10M. Ms. Padilla asked staff to do everything they can to make direct outreach, in addition to the written letter, so the school districts are aware of the timeline and that the reversion of funds would occur. Ms. Casias replied that staff will call each of the districts and thanked Ms. Padilla for the suggestion.

MOTION: Council approval to revert the remaining 2018-2019 Security Award funds in the amount unexpended as of October 31, 2021 to the schools listed in Attachment A. The PSFA shall notify all districts of this deadline. Districts may reapply for an emergency system award pursuant to New Mexico State Statute 22-24-4.6. Districts may reapply for the full amount of the unexpended balance upon certifying the design is complete, procurement can be completed and a construction agreement can be executed in three months, and funding can be spent by October 31, 2022.

AMENDED MOTION: Mr. Abbey moved for Council approval to revert the remaining 2018-2019 Security Award funds in the amount unexpended as of October 31, 2021 to the schools listed in Attachment A. The PSFA shall notify all districts of the deadline. Districts may reapply by November 12, 2021 for an emergency system award pursuant to New Mexico State Statute 22-24-4.6. Districts may reapply for the full amount of the unexpended balance upon certifying the design is complete, procurement can be completed and a construction agreement can be executed in three months, and funding can be spent by October 30, 2022. Unexpended balances of these supplemental awards shall revert on October 12, 2022. Mr. Bailey seconded and **the motion was unanimously approved.**

e. P19-004 Gallup, Tohatchi HS – Change in Award Language

Mr. Abbey reviewed the item and mentioned that the Awards Subcommittee received an amendment to the original request from Gallup-McKinley School District about four to five days before the October Subcommittee Meeting, and there was significant discussion about the amendment. The original approval of the project was to demolish the gymnasium, and two days before the Subcommittee Meeting there was a request to not demolish the building. There had been quite a bit of discussion about how the standards apply to gymnasiums, and in general only one gym is provided. With this request the school district would end up with two gymnasiums. The Subcommittee tabled the motion with the understanding to revisit at a later. Mr. Abbey suggested to bring this back to full Council for review and discussion. Ms. Casias communicated the PSFA received Gallup-McKinley School District's request on September 29, 2021 to retain the existing gymnasium, as well as build a new gymnasium. Since the timing was so brief, the PSFA was unable to properly research in an appropriate manner. Mr. Michael Hyatt, Superintendent of Gallup-McKinley School District's thanked the Council for considering this item and explained that the Gallup-McKinley School District brought this proposal forward because the a facility would not take much to improve as a part of this project. Mr. Hyatt continued to explain that these facilities are the hubs for activities in small rural communities, and their students deserve to have opportunities that other school districts have across the state for extra space for those different activities, whether they are a part of the community or apart of the school. Mr. Hyatt asked for the Council's consideration to be done quickly, because, and the facility has not yet started design and the award was in 2018. Mr. Hyatt requested if this is going to be denied, please deny quickly or if it is going to be accepted, please accept quickly so they can move forward; their students need a new facility and they are way behind. Mr. Guillen understood that generally when the Council takes on a project like this the district is normally limited to one gymnasium, and Gallup-McKinley School District feels like their current gymnasium is in better condition than it would be to warrant demolition. Mr. Guillen questioned that if they do not demolish the building, shall the Council still participate in the new gymnasium or shall the Council participate in a renovation of the older facility, and wondered what the policy or standard was. Ms. Casias clarified that the Council policy and standard from the past was when a new school is constructed, or an existing school is and partially replaced, participation is for one physical education gymnasium for the students. That is typically what happens in a case like this, and if the gymnasium they wish to retain is larger than the current student body, the PSCOC participates in funding the gymnasium large enough for the number of students enrolled at the campus.

Mr. Guillen asked if there was an option that allows districts to keep their old facility at their own expense, and build the new gymnasium as well. Ms. Casias said in the past, school districts have kept an older gymnasium for a different purpose, such as donating it to the community or an athletic gymnasium.

Mr. Hyatt said that if that is the Council decision they will live with it, and move forward with what they need to do. Mr. Guillen replied that Gallup-McKinley School District would have both gymnasiums, but the PSCOC would only participate in the construction of the new gymnasium. Mr. Hyatt clarified that Gallup-McKinley School District is asking Council to participate in funding to renovate the older gymnasium, but if Council is not willing to do that they would settle for construction of the new gymnasium only. Mr. Abbey spoke about the Subcommittee struggle with regarding the two gymnasiums. If the district was prepared to build a second gymnasium at its initiative, Mr. Abbey would be prepared to recommend that the state fund the more expensive gymnasium, which would be renovating the existing gymnasium. Ms. Casias shared the figure to renovate the existing gymnasium would be around \$4M, and the new gymnasium amounted to about \$2.4M. If the state was only to fund one gymnasium, not two, Mr. Abbey would recommend the more expensive one, leaving the district the option to build the new gymnasium at their expense. Mr. Hyatt replied and appreciated Mr. Abbey's comments, but if the district had to choose, they prefer the PSCOC to participate in the new gymnasium, and not in the old gymnasium. Mr. Robbins expressed his appreciation for what Mr. Abbey said about participating in the more expensive gymnasium, but based upon the standards that the Council follows across the state, putting in \$2M more into a gymnasium that is beyond the capacity for decreasing enrollment at the school, he does not think that would be an advisable move for the school, and it sounds like the superintendent would prefer the Council to build a new gymnasium. If they keep the old gymnasium it would be up to the school or community to renovate the facility. Dr. Hawker asked if the demolition costs were included. Ms. Casias clarified to demolish the existing gymnasium was initially estimated as a cost of \$376K.

Mr. Abbey proposed a motion to provide the district the cost of demolition, and they may choose either to demolish or repair the existing facility at their own expense. If the district didn't want a second gymnasium, the PSCOC would still pay for demolition and a new gymnasium; this motion would allow them to have the demolition funding as state share even if the district chose not to demolish the old gymnasium. Mr. Guillen responded that the Council could proceed that way, but if the costs were not to be incurred in demolition there would need to be some kind of notice that the district would prefer to use the funding for renovation rather than the demolition, and this would be corrected once the determination is made. Mr. Robbins also clarified that the Council needs to stay with the approved costs including the demolition, and if at a future date if the district decides not to demolish, the Council can make a decision at that time. Ms. Casias stated that this item was not listed as an action item on the agenda. Mr. Guillen said that the motion is stating the Council's intent, and it is not an action item on the project itself. The intent would provide guidance rather than actually allocating funds for a different purpose, the scope is not changing. Ms. Padilla agreed and stated the intent shows the Council's understanding of the districts priority, and that the

Council supports that priority. Mr. Abbey clarified the motion would fund demolition, but give them the option to use the demolition funding for renovations. Mr. Abbey agreed with Mr. Robbins to table the motion until the motion can be stated properly with the district.

This item was neither tabled nor moved forward because the item was not listed as an action item on the agenda. However, the Council provided direction to both staff and the district on the possible discussion for next month's action on the request.

6. Other Business

a. Temporary Salary Increase for Acting Executive Director

Mr. Guillen provided a handout on the item, overviews the PSFA Executive Director search. The timeline was finalized and the job description had been posted. All Council members had the opportunity to participate in the initial interview committee. So far there are three volunteers: Mr. Robbins, Dr. Hawker and Ms. Leach. Mr. Guillen will serve on the committee as well. Mr. Guillen asked anyone else on the Council if they would like to serve on the interview committee. If another participant from the Council joined the committee they could give public notice and go into executive session to hold the interview. Mr. Guillen did not want that to hold anyone up from participating in the interview committee. Jonathan Chamblin's last day was September 30, 2021 and as of that time Martica Casias has been serving as the acting director of the PSFA. Mr. Guillen has been discussing with, Justin Owens, PSFA HR Director, and asked him to put together a request for a 15% temporary pay increase for Ms. Casias, as she takes on the acting director responsibilities. This action provides an increase of approximately seven dollars per hour, from \$46.50 to \$53.50 per hour during this period. This rate is still slightly less than Mr. Chamblin's \$55.00 per hour. Mr. Guillen recommended approval and action by the Council on the Motion.

MOTION: Mr. Abbey moved for Council approval of the temporary salary increase for Martica Casias to compensate her for performing the duties of Agency Director until one is selected to fill the position permanently. Ms. Casias has worked for PSFA for 19 years in a wide variety of roles, currently as a Deputy Director. Ms. Casias is currently making 46.578561/Hour or \$96,883.40688 annually. PSFA is requesting a 15% increase for MS. Casias to temporarily raise her hourly compensation to \$53.565345 which equates to \$111,415.92 annually. Ms. Padilla seconded and **the motion was unanimously approved.**

7. Informational

a. PSFA Project Process

Mr. Michael Hyatt, Superintendent of Gallup-McKinley School District thanked the Council for allowing him the opportunity to speak on behalf of the school district to share suggestions and ideas on how the PSFA can make improvements on some of their processes. Mr. Hyatt provided a presentation to the Council reviewing the process of working with PSFA from the school district perspective. As the Gallup-McKinley School District is a large customer, the district has had a lot of experience and understanding working with the PSFA on the processes with Standards-based and Systems-based construction projects. Mr. Hyatt mentioned he would try to avoid discussing anything about equity in the presentation. Mr. Hyatt introduced his Deputy Superintendent, Jvanna Hanks, with her unique perspective being brand new to

the system and seeing where there may be opportunities for an area of improvement. Mr. Hyatt gave an overview of the Gallup-McKinley School District facilities and geographical demographics. Gallup-McKinley School District is the third largest district in the country, serving several communities spread out over five thousand square miles. Mr. Hyatt spoke to how the sparsity brings many challenges to the school district, stating that the work and collaboration with the PSFA is very important, and there is a need to streamline processes to be more efficient. Working in remote areas, there are different needs versus working in Santa Fe or Albuquerque, and the processes need to be efficient so the districts can move forward for their students so they are treated the same as the rest of the state. Mr. Hyatt highlighted key points on the slideshow presentation to the Council and audience; stating desires of being more efficient and equitable with state funding, providing correct standards and eliminating barriers and delays as much as possible. Mr. Hyatt believes there are ways to improve inefficiencies in the system as a whole. Mr. Hyatt wanted to make sure tools are in place so there are continued process improvements, further details were presented noting suggestions on initiatives that need to be addressed to better serve the students and school districts across the state of New Mexico.

Mr. Guillen thanked Mr. Hyatt and spoke about his experience at DFA years ago when they faced similar concerns and how the Agency has developed procedures when changes in administration came in during that time, and how moving forward with initiatives brings opportunities to better serve districts. Mr. Robbins shared his experience working in the construction industry and overseeing projects and planning, and was amazed at how long it takes to complete a government project considering the many approvals, regulation/licensing changes and code modifications. Also as a former planner, Mr. Robbins noted his experience, and his advocacy and dedication for planning, and how many times projects involve very little planning and results with execution that takes a lot longer, concluding projects delay because of the lack of planning up front. Mr. Robbins suggested standard facility designs for schools across entire districts, noting the efficiency benefits of buildings constructed much faster with a limited design phase. When buildings are customized all of the systems end up being customized, and it is very costly and takes time. Streamlining processes will save time and cost. Mr. Robbins also noted working with district personnel brings delays as well, and the PSFA's expertise and knowledge can assist smaller districts, and a lot of the comments Mr. Hyatt presented were relevant and worthy to review. The Council and Subcommittees would like to take a look at streamlining processes and upgraded technological systems, but a lot of the items Mr. Hyatt addressed need to go through the Legislature considering the requirements and restrictions that are placed on the Council and the type of funding presented. Tax payers want efficiency and accountability of funds. Ms. Padilla thanked Mr. Hyatt and the districts involved for taking the time and effort to provide feedback; it is helpful to see what improvements are in need, and she was in agreement that the Council and staff need to take a look at these suggestions for improvement. Ms. Padilla supports the idea of funding an independent reviewer to develop an analysis of the systems and how they can be improved. Ms. Leach also shared her appreciation to Mr. Hyatt, and commended PSFA staff for their open attitude to improving processes, such as the current processes staff is working to improve the financial reporting of budgeting, financial and expenditure. Additionally, PSFA is putting together timelines for the Board of Finance approval process, which is a process that many districts might not be aware of, but can create delays in funding being released as the Board

of Finance give the final approval. Ms. Leach expressed her excitement to be already having conversations with the PSFA staff to partner to improve some of these processes. Mr. Abbey thanked Mr. Hyatt for his report and recommendations and noted the Council did not invent these process, and it has been over twenty years since these processes have been reexamined. Mr. Abbey suggested staff to develop a problem statement and action plan with details, and the next steps to prioritize focus on problems and how to make improvements. Mr. Abbey also agreed to consider hiring an independent consultant to review processes. Another suggestion from Mr. Abbey was a committee of superintendents to be advisory to the staff and Council as they develop a plan considering the district and agency perspectives. Mr. Turner thanked Mr. Hyatt and Ms. Hanks and mentioned the Council is eager to hear more on the recommendations and if they can be categorized with which things need statute changes, items that need to be changed with legislative or PSCOC regulation, PSFA documentation, communication and practices. Mr. Hyatt agreed with Mr. Abbey's comment to create a focus group to collaborate with the PSFA and superintendents to develop recommendations to propose legislation and streamlined processes. Mr. Guillen concurred with the overall discussion and bringing in an outside source to engage and look at these processes objectively. Mr. Benavidez added a suggestion to expand the top ranking eligibility for projects to a wider range of schools so smaller schools and districts on the list can be included and have opportunities to improve schools; some of the larger districts are taking up slots in the ranking and not using any of the state funding opportunities. Ms. Casias shared her appreciation for Mr. Hyatt's presentation, and mentioned the PSFA is beginning to meet internally to make changes on processes to move quicker, starting off with E-Builder applications and reducing steps in application processes. Mr. Guillen concluded the discussion with action to develop a policy statement on the topic with Ms. Casias.

b. Teacher Housing Update

Ms. Casias introduced Alyce Ramos, PSFA Programs Manager, as the presenter of the Teacher Housing funding program. The Council had directed the PSFA staff to start developing a new Teacher Housing Program independent of the Standards-Based Funding Program. The PSFA had been traveling across the state to conduct Teacher Housing workshops; so far a total of five workshops had been completed with two more workshops remaining in the coming weeks. The workshops had been successful so far, and along with the workshops there have been surveys distributed to District Administration/Landlords and Teachers/Tenants to gather information and analyze the data to bring forward information from the findings in the next month or so. The PSFA hopes to bring more information from what they have learned throughout the workshops and surveys in the upcoming Council meetings so that the Teacher Housing guidelines can be released in December of 2021. The applications for funding would then be released in January 2022, with awards in April 2022.

Mr. Abbey was unaware of the goal was to have the Teacher Housing guidelines independent from the Standards-based guidelines, and considering the recent experience with the Security awards, he suggested to not have too many different awards programs. This could create more bureaucracy by having two different processes rather than one, and having to deal with another application cycle Mr. Abbey was concerned more about streamlining the process rather than creating another process. Ms. Ramos replied that the intent of the program separation was to disassociate the Teachers Housing projects from the Standards-Based

projects applications so not just the top 100 schools in the ranking are eligible, and all districts across the state may apply no matter where they stand in the ranking. Mr. Guillen mentioned it is a balancing act with the different applications and simplifying and eliminating duplicate work for staff and also trying to streamline the process. Ms. Casias recalled the second round of Standards-based awards going out, and the PSFA has simplified the process to make it quicker and easier, and in some ways it is easier to have applications year round rather than having fifteen or thirty applications in July every year. Mr. Robbins reiterate the intent of Teacher Housing was to not require to be part of a Standards-Based project. If a school ranked very low for Standards-Based projects they can still participate in a Teacher Housing project at any time that need came up. Mr. Abbey requested to see a draft in November along with a fiscal analysis of the potential demand with the proposed guidelines a month before adoption. Mr. Abbey shared his concern that the Teacher Housing Program could become a very expensive program if multiple districts get involved. Ms. Casias replied that the PSFA will need at least a month to report back with analysis.

c. New Mexico School for the Deaf- Pre-K Facilities

Ms. Casias

d. Budget Projections and Personnel Update

This agenda item was not presented.

e. FY23 Supplemental Budget

Mr. Evans presented the CAFR Budget Status Report current projections the budget balance vacancy savings for personnel only at that point was about \$72K. Other contractual services were showing high dollar amounts, but Mr. Evans suggested to not count on those figures as a budget surplus because at that point in time only half of the P.O.'s were allowed to be opened for the fiscal year in certain cases. There are still large items that are waiting to be opened in January 2022. Mr. Abbey asked what the large item was in the subscriptions and dues; Mr. Evans replied it was software costs for E-Builder and School Dude. Mr. Evans clarified it is not a real surplus because only half of the P.O's have been opened so far for FY22. Mr. Abbey said there was about a \$300-\$400K surplus to use as a resource to hire contractors to help keep projects moving and perform independent studies on streamlining processes. Mr. Robbins cautioned the Council that it would be helpful to have the projected expenditures to year end noted with projected numbers of what is expected to be spent because if you do not have those projections it looks like there is a huge surplus.

Ms. Casias requested to meet with one of the Subcommittee Chairs for guidance considering the upcoming appropriation request to hire more staff. Mr. Robbins clarified the surplus in the current year which contract staff could be hired as temporary initially, and some of that staff could eventually apply for term positions moving forward. There would have to be a budget adjustment to move those dollars into a contractual category. Supplemental budgets have to be submitted soon in order for it to go to the Legislature in January to be considered for the FY23 budget. Mr. Evans followed-up the discussion noting the supplemental will be approved at the FY22 Legislative session and can be used partially in the FY22 year as well as moving forward. Mr. Abbey clarified the difference between a

supplemental (Section 6) appropriation and a special (Section 5) appropriation in HB2, distinguishing the supplemental appropriation finishes funding for the current year and a special appropriation can be used in the current year or in the following year. Mr. Guillen mentioned to Ms. Casias if there is further clarification needed to please reach out. Mr. Abbey asked if the FY23 Supplemental Budget Agenda item was an action item, and Mr. Guillen replied it was not an action item. Mr. Abbey clarified that the agenda item should be an action item because it is no different than an approval for a budget request. Mr. Robbins ended the discussion by thanking Mr. Evans for streamlining the budget projections and making the report more concise.

e. Workplan Timeline

This agenda item was not presented.

g. Project Status Report

This agenda item was not presented.

8. Next PSCOC Meeting - Proposed for November 8, 2021.

9. Adjourn – There being no further business to come before the Council, Mr. Robbins moved to adjourn the meeting. Dr. Hawker seconded and **the motion was unanimously approved**. The meeting adjourned at 3:41 p.m.

_____ Chair

_____ Date

I. **PSCOC Meeting Date:** November 8, 2021

II. **Item Title:** S19-013 Los Lunas MS – Technical Correction

III. **Name of Presenter(s):** Martica Casias, Interim Director
Daniel Juarez, Senior Projects Coordinator

IV. **Potential Motion:**

Council approval to amend the current Systems-based award for Los Lunas MS to include additional funding in the amount of \$3,732,383 ~~\$3,723,383~~ with an increase in the state share (76%) for the construction phase up to \$2,836,611 and a local share up (24%) to \$895,772.

V. **Executive Summary:**

Background:

Los Lunas MS was originally awarded planning, design and construction phase funding in 2018 to systems based improvements. At the time of the original award, Los Lunas MS was ranked #79 with a wNMCI of 40.77%.

In September 2021, Public School Facilities Authority (PSFA) received a letter from the district requesting additional funding to complete the building systems improvements included in the awarded systems-based project for Los Lunas MS. The district also included the Life/Health/Safety/Building Code conditions that were identified in the Design Professionals scope of work proposal and included in the General Contractor's cost.

Enrollment:

The enrollment as of 2020-2021 for Los Lunas Middle School is 824.

PSCOC Award and Project History:

- Originally awarded in September 2018. Total estimated project cost for the planning phase was \$4,115,790.
 - Total state share (76%) for the planning, design and construction phase funding was \$3,128,000 with total local share (24%) was \$987,790.

Award History and Project Costs per Phase	Total	State Share	Local Share
		76%	24%
Planning, Design and Construction Phase	\$ 4,115,790	\$ 3,128,000	\$ 987,790
Total Project Cost	\$ 4,115,790	\$ 3,128,000	\$ 987,790

Current Request:

Los Lunas Schools (LLS) is requesting additional funding to complete the remaining building systems included in the district's systems-based award. The systems consist of Parking Lots, Playground Equipment, Site Lighting, Site Drainage, Walkways, Interior Finishes, HVAC, Electrical, Plumbing, Fire Sprinkler, Demolition, and Security Systems (Access Control).

The planning and design phase work has been completed for all building systems improvements included in the Los Lunas MS systems based project award. Construction phase work has been completed for the replacement of the roofs on Administration, 300 (Cafeteria/Band) and 400 (Classroom) buildings. The Los Lunas MS systems-based award has an unexpended award balance of \$1,829,921 with a state share of \$1,453,819 and a corresponding local share of \$376,101 that can be used to supplement the requested additional funding.

Funding Summary	Total	State Share	Local Share
Systems Based Award	\$ 4,115,790	\$ 3,128,000	\$ 987,790
Design Professional	\$ 401,634	\$ 223,784	\$ 177,850
General Contractor	\$ 1,793,281	\$ 1,395,180	\$ 398,101
Consultants	\$ 90,954	\$ 55,217	\$ 35,738
Remaining Balance	\$ 1,829,921	\$ 1,453,819	\$ 376,101

The district has procured contractors for the remaining systems based work. The contractor's bid with NMGR for the remaining systems based work and a 5% contingency totaled \$3,732,383 in requested additional funding with state share of \$2,836,611 and a corresponding local share \$895,772.

General Contractor Cost with NMGR	Total	State Share	Local Share	Costs Funded at 100% Local Share
	\$ 6,143,398	\$ 4,037,928	\$ 1,189,339	\$ 916,130
Access Control Contractor Cost with NMGR	\$ 146,175	\$ 53,325	\$ 16,839	\$ 76,011
Total Contractor Cost	\$ 6,289,573	\$ 4,091,253	\$ 1,206,179	\$ 992,141
Contingency at 5%	\$ 314,479	\$ 204,563	\$ 60,309	\$ 49,607
Total Contractor Cost & Contingency	\$ 6,604,052	\$ 4,295,816	\$ 1,266,488	\$ 1,041,748
Maximum Allowable Construction Cost	\$ 5,562,303	\$ 4,295,816	\$ 1,266,488	N/A
Requested Additional Funding	\$ 3,732,383	\$ 2,836,611	\$ 895,772	N/A

Award Language History:

September 19, 2018: *Planning, design and construction funding to complete system upgrades at the existing facilities to the GSF pursuant to the Adequacy Planning Guide for 79,758 square feet (partial campus). Systems are limited to: Parking Lots, Playground Equipment, Site Lighting, Site Drainage, Walkways, Roof, Ceiling Finishes, Floor Finishes, Interior Walls, HVAC, Main Power/Emergency, Lighting/Branch Circuits, Plumbing, Fire Sprinkler, Demolition, and Security Systems (Access Control), as identified in the district's application, including associated incidental systems directly related to the work in this award.*

Project Schedule: (actual)

Planning/Design Phase:	October 2018 – February 2019
Roof Replacement:	March 2019 – December 2019
Design Phase for remaining systems:	June 2020 - August 2021

Maintenance Performance:

September 20, 2021: The Los Lunas Public School District meets all statutory requirements including the following: The districts Preventive Maintenance Plan (annual update required; 6.27.3.11 NMAC) is current, last updated on January 19, 2021, with historical updates, and rated Outstanding. 1 historical year of FIMS Proficiency Reports indicates the district is a Satisfactory to Good user of the State provided FIMS Maintenance resources (MD, PMD, UD). The districts Facility Maintenance Assessment Report (FMAR) average (F6) of 83.83% indicates the district is maintaining their assets to a Good level, currently above the State FMAR average of 72%. Staff recommends the district continue their diligence towards improved core maintenance to 85% (Good) ratings, continue using the FIMS tools to drive district maintenance performance and respond to subsequent FMAR's for improved performance ratings.

Staff Recommendation:

Staff recommends amending the current systems-based award language for Los Lunas MS (S19-013) to include additional funding in the amount of \$3,732,383 with an increase in the state share (76%) for the construction phase up to \$2,836,611 and a local share (24%) up to \$895,772. The additional funding would allow the district to complete the building systems improvements extend the life of the facilities on the Los Lunas MS campus.

The district received bids from three General Contractor's with the selected contractor's bid being \$992,532 less than the next lowest bid. The district's governing board at its September 21st meeting approved the evaluation committee's selection of a General Contractor. The district is ready to proceed in

to construction with the construction documents having been reviewed and approved by the Village of Los Lunas and the Construction Industries Division.

The district was awarded \$1,006,000 in roof replacement funding for 47,148 GSF with a cost per square foot of \$21. The General contractor bid totaled \$1,793,281 at \$38/SF. This increase is the result of a new wage decision where the hourly base, fringe and apprenticeship rates doubled from \$16/hr. to \$32/hr. The district's application and award were based on an hourly labor rate ranging from \$16-21/hr.

Staff analysis found that due to a high ground water table, poor soil conditions and the Village of Los Lunas floodplain requirements for retaining 100% of the runoff/storm water on site, the awarded site drainage funding was insufficient to address the onsite drainage issues in the main courtyard and within the playfield area.

Staff is in agreement with the district's request for additional funding to complete the systems based improvements that were awarded to the district in the 2018-2019 fiscal year.

Dr. Arsenio Romero
Superintendent



Sonya C'Moya, President
Bruce Bennett, Vice President
Tina Garcia, Secretary
Ragon Espinoza, Member
Jessie Lewis, Member

September 27, 2021

New Mexico Public Schools Facilities Authority
Attention: Sean Mussell, Regional Facilities Manager
Sent via email to smussell@nmpsfa.org

Dear Members of the New Mexico Public Schools Facilities Authority,

The PSFA's mission in serving its stakeholders by providing quality, sustainable, safe and adequately equipped facilities that enhance educational outcomes for students and staff aligns perfectly with the beliefs and practices of Los Lunas Schools (LLS). Our motto is *Every student matters. Every moment counts*. Those are not just words, but a commitment in all that we do every day, and is mirrored in all aspects of our practices. From our mission statement - *Preparing, empowering, and inspiring all students to reach their maximum potential*, to our District Goal - *To provide continued access to a safe and rigorous learning environment during a pandemic and into the future*, to the theme of the District – *United*, is reflective of our District's ongoing commitment to provide the best education for our students. One of the most important aspects of that is to ensure that all students and staff have a facility that is accessible to all, is well maintained, and is viable now and into the future.

LLS has maintained a strong working relationship with the PSFA on PSCOC-awarded projects over the past 15+ years, inclusive of a history of 20+ previous and current PSCOC funded projects. All projects have been designed and completed to best serve its students and staff to the highest degree. Also, with the intent to address building systems that are category 1-4 in the Facilities Assessment Database, as well as, recurring maintenance issues, and systems that have deteriorated or are beyond their expected useful life. In doing so, LLS has maintained high FMAR scores on its facilities throughout the district. This makes the Los Lunas Middle School (LLMS) a prime facility to have received the 2018-2019 System based capital outlay award for renovations. LLS is requesting additional funding from its original award due to an increase in scope of work and inflation on material costs.

LLS initially identified project necessities in the original PSCOC application for funding. However, upon an extensive site evaluation conducted by Greer Stafford Architecture on August 23, 2019, other Life-Health-Safety-Code items were discovered. LLS believes it is in the best interest of its students and staff to expand the original scope of work to include all items addressed in the site evaluation in order to provide a safe and sustaining facility.



These additional items include, but are not limited to, the following:

- **Fire Lane:** Create a fire apparatus road to meet International Fire Code Section 503;
- **Amphitheater Replacement:** Redesign and replacement to integrate into the overall grading and drainage solutions;
- **Administration Building:** Renovation of all toilet room areas to bring to ADA compliance;
- **Building 100, 200, and 500:** Replacement of non-ADA compliant door hardware. Remove/replacement of cabinets and sinks to meet ADA reach clearances. Renovation of toilet rooms to meet ADA compliance;
- **Door Glass:** Remove/replace all wired glass with approved safety glass;
- **Building 300/Cafeteria:** The combustion air serving the small mechanical room found to be incomplete. Plumbing fixtures in toilet rooms found to be non-ADA compliant, remove/replace to meet ADA compliance; and
- **PSFA Security Guidelines:** Recommend security vestibule to be designed and integrated into main front entry.

Given that the original scope of work and cost estimate were created in 2018, LLS has seen a substantial increase in construction costs. Spikes in building material costs and unforeseen delays in delivery are some of the unexpected consequences of the COVID-19 pandemic. In 2021 Gypsum and acoustic insulation materials have increased by 5% to 20% per month. In some instances, steel costs have increased by 250-300% a year. These are a fraction of the industries where prices have been on the rise. Cost increases have not only affected the LLMS Systems-Based project, but in all of the district's construction projects.

LLS believe assistance with additional funding for the LLMS Systems-Based project will provide the opportunity to renovate LLMS to its true facility potential. In a collaborative effort between PSFA and LLS, we can provide students and staff of LLMS with a facility that will meet all our goals; providing quality, sustainable, safe and adequately equipped facilities that enhance educational outcomes.

We appreciate the opportunity to speak to you more about this project.

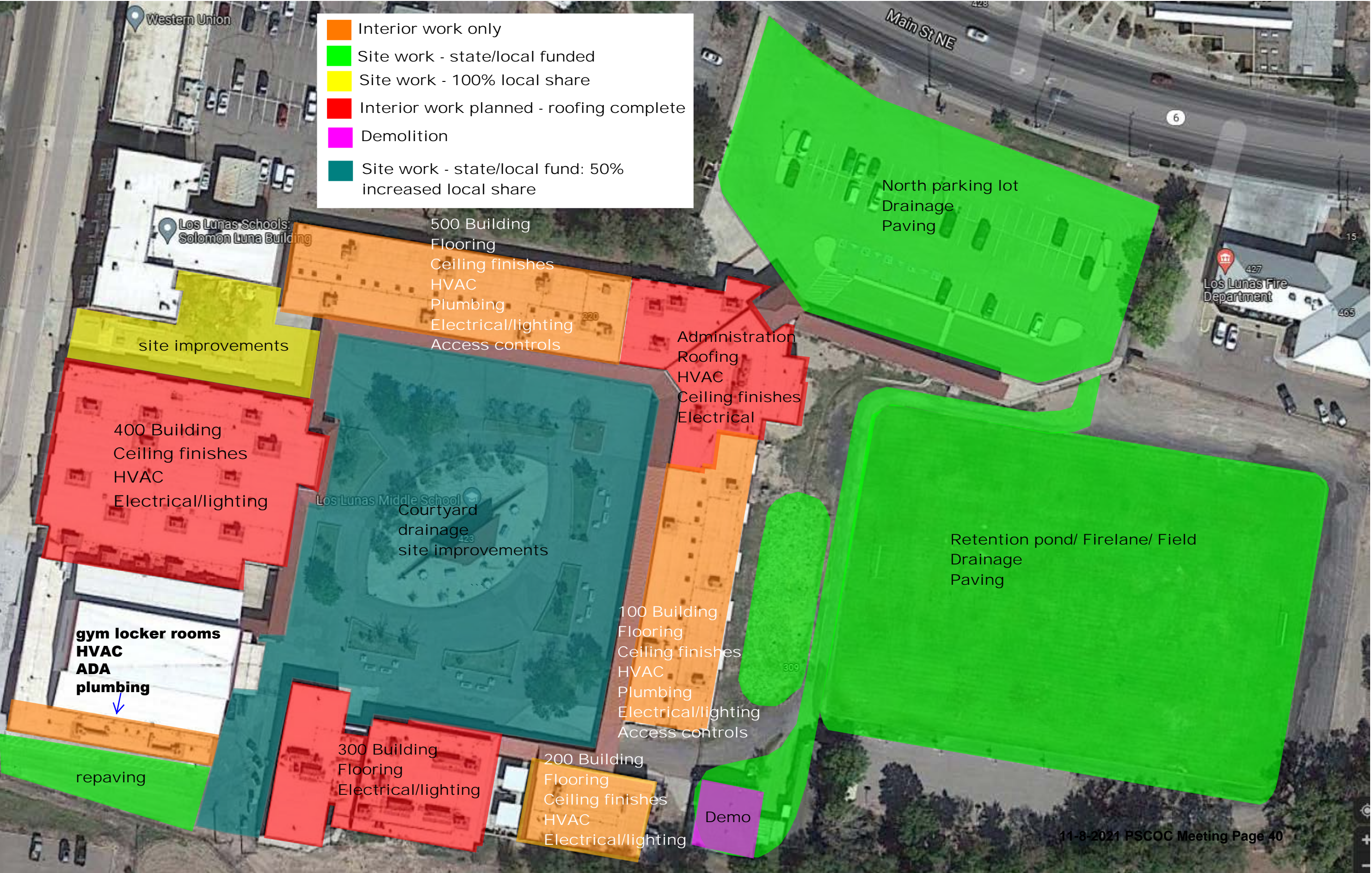
Respectfully,



Dr. Arsenio Romero
Superintendent
Los Lunas Schools

xc: Claire Cieremans
Andrew Garcia
Michelle Romero
Tiffany Gutierrez





- Interior work only
- Site work - state/local funded
- Site work - 100% local share
- Interior work planned - roofing complete
- Demolition
- Site work - state/local fund: 50% increased local share

Western Union

Los Lunas Schools:
Solomon Luna Building

500 Building
Flooring
Ceiling finishes
HVAC
Plumbing
Electrical/lighting
Access controls

Administration
Roofing
HVAC
Ceiling finishes
Electrical

North parking lot
Drainage
Paving

Los Lunas Fire
Department

site improvements

400 Building
Ceiling finishes
HVAC
Electrical/lighting

Los Lunas Middle School
Courtyard
drainage
site improvements

**gym locker rooms
HVAC
ADA
plumbing**

repaving

100 Building
Flooring
Ceiling finishes
HVAC
Plumbing
Electrical/lighting
Access controls

Retention pond/ Firelane/ Field
Drainage
Paving

300 Building
Flooring
Electrical/lighting

200 Building
Flooring
Ceiling finishes
HVAC
Electrical/lighting

Demo



STATE OF NEW MEXICO

PUBLIC SCHOOL CAPITAL OUTLAY COUNCIL
PUBLIC SCHOOL FACILITIES AUTHORITYMICHELLE LUJAN-GRISHAM
GOVERNORJOE GUILLEN
PSCOC CHAIRJONATHAN CHAMBLIN
PSFA DIRECTOR**PSCOC AWARD MODIFICATION REQUEST**

DATE: September 29, 2021

REQUEST TYPE: ☒ Out-Of-Cycle ☐ Waiver ☐ Advance ☐ Additional Funding ☐ Award Language Change

NOTE: For Waiver/Advance requests, districts must complete and submit a Statement of Financial Position (separate form) which must be signed by the district board auditor. Read INSTRUCTIONS at the end of the application for additional criteria/outmatch waiver eligibility. Incomplete forms will be returned to the district and may delay action by the Council.

SCHOOL DISTRICT: Los Lunas Schools
PSCOC PROJECT #: S19-013
PROJECT NAME: Los Lunas Middle School
APPLICATION RANK: 79
ENROLLMENT: N/A
DESIGN CAPACITY: N/A

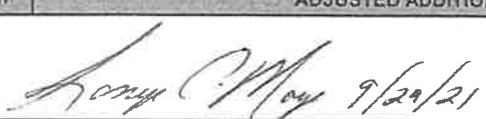
Fiscal Year of most recent audit
submitted & accepted by State Auditor: _____

DESCRIPTION OF REQUEST: Council approval to amend the current Systems-based award for Los Lunas MS to include additional funding in the amount of \$3,723,383 with an increase in the state share (76%) for the construction phase up to \$2,836,611 and a local share up (24%) to \$895,772


Line	CURRENT PSCOC AWARD INFORMATION	TOTAL TO ADEQUACY	STATE TO ADEQUACY	DISTRICT TO ADEQUACY	DISTRICT ABOVE ADEQUACY
1	Original Award	\$ 4,115,790	\$ 3,128,000	\$ 987,790	\$ -
2	Appropriation Offset at Original Award	\$ -	\$ -	\$ -	\$ -
3	Waiver #####	\$ -	\$ -	\$ -	\$ -
4	Supplemental Award #####	\$ -	\$ -	\$ -	\$ -
5	Supplemental Award #####	\$ -	\$ -	\$ -	\$ -
6	Subtotal Project Costs after Waiver & Offsets:	\$ 4,115,790	\$ 3,128,000	\$ 987,790	\$ -
7	Local Match Advance #####	\$ -	\$ -	\$ -	\$ -
8	ADJUSTED TOTAL BUDGET (USES)	\$ 4,115,790	\$ 3,128,000	\$ 987,790	\$ -

Line	ESTIMATED TOTAL PROJECT COSTS	
9	Total Project Cost	\$ 8,889,921
10	Total Project Cost to Adequacy	\$ 7,848,173
11	Current Budget to Adequacy (Line 6)	\$ 4,115,790
12	Estimated Additional Funding Required (Line 10 - Line 11)	\$ 3,732,383

Line	ADDITIONAL FUND REQUEST	STATE TO ADEQUACY	DISTRICT TO ADEQUACY	DISTRICT ABOVE ADEQUACY
13	Match Percentage	76%	24%	100%
14	ADDITIONAL FUNDS REQUEST (Line 12)	\$ 2,836,611	\$ 895,772	\$ 1,041,748
15	Offset Carryforward (if applicable)	\$ -	\$ -	\$ -
16	WAIVER/ADVANCE REQUEST	\$ -	\$ -	\$ -
17	ADJUSTED ADDITIONAL FUNDS REQUEST	\$ 2,836,611	\$ 895,772	\$ 1,041,748


School Board President
(Required)

Date


School District Designee
(Required)

Date

Signatories certify that, to the best of their knowledge, the information contained in the application herein is complete and accurate.

ADDITIONAL INFORMATION:	The Los Lunas MS systems-based award has an unexpended award balance of \$1,829,921 with a state share of \$1,453,819 and a corresponding local share of \$376,101 that can be used to supplement the requested additional funding.
PSFA STAFF RECOMMENDATION:	Staff recommends amending the current systems-based award language for Los Lunas MS (S19-013) to include additional funding in the amount of \$3,732,383 with an increase in the state share (76%) for the construction phase up to \$2,838,611 and a local share (24%) up to \$895,772. The additional funding would allow the district to complete the building systems improvements extend the life of the facilities on the Los Lunas MS campus.

Sean Mussell
PSFA Regional Facilities Manager

09/29/2021
Date

TGJP
PSFA Senior Facilities Manager

9/30/21
Date

SUBCOMMITTEE REVIEW DATE: _____

<input type="checkbox"/> Approve Recommendation
<input type="checkbox"/> Reject Recommendation

COMMENTS: _____

PSFA Director Date

PSCOC Awards Subcommittee Chair Date

PSCOC REVIEW DATE: _____

<input type="checkbox"/> Approve Motion
<input type="checkbox"/> Reject Motion

MOTION: _____

ADDITIONAL FUNDING REQUEST

INSTRUCTIONS

For purposes of determining eligibility for Reduction/Advance of Local Share, detailed financial information for the project and the district at large is required. In instances where district cash flow/cash balances are an issue, assistance may be offered in the form of an advance to be repaid, as opposed to a reduction in the local match which does not require district repayment. Final consideration of the request must be by a quorum of the PSCOC in a public meeting.

REDUCTION/ADVANCE OF LOCAL SHARE

The Council may adjust or advance the amount of local share otherwise required if it determines that a school district has used all of its local resources. The Council shall consider whether the school district has insufficient bonding capacity over the next four years to provide the local match necessary to complete the project and, for all educational purposes, has a residential property tax rate of at least 10 mills. The Council may also consider waivers if the following district conditions exist: 1.) the residential mill levy is at least 7 mills; 2.) the MEM count is equal to or less than 800; 3.) the percent of free or reduced lunch is equal to or greater than 70 percent; and 4.) the state share is equal to or less than 50 percent. The district, in consultation with their bond advisor, shall complete and submit the District Statement of Financial Position on page 2 of this application and be signed by the school district bond advisor.

STATEMENT OF FINANCIAL POSITION

All requests for advance/waiver require completion of the Statement of Financial Position signed by the school district bond advisor and reviewed and signed by the Public Education Department. Incomplete Statements may delay consideration and action by the Council. If you are unclear about any requested financial information, contact your Public Education Department budget analyst at 505-827-6537 for assistance.

I. **PSCOC Meeting Date:** November 8, 2021

II. **Item Title:** S20-007 Hobbs HS - Construction Funding Request

III. **Name of Presenter(s):** Martica Casias, Interim Director
Daniel Juarez, Senior Projects Coordinator

IV. **Potential Motion:**

Council approval to amend the current systems-based award to Hobbs Municipal Schools for Hobbs HS – Tydings Auditorium to include construction phase funding for cooling generating and air distribution systems up to the maximum allowable gross square footage of 20,570 GSF, with an increase in the state share (52%) for up to \$267,552 and a corresponding local share (48%) up to \$246,971.

V. **Executive Summary:**

Summary:

- District is requesting construction phase funding totaling \$514,523.
- District is requesting approval to use a design-build project delivery method and procure General Contractor services through Cooperative Educational Services.
- Systems-based project was awarded planning and design phase funding totaling \$57,169.
- District has an average FMAR score of 86.19%, PM plan is current and is a Good to Outstanding user of FIMS resources.

Background:

Hobbs Municipal School District (HMSD) was originally awarded planning and design phase funding in October 2019 for Hobbs HS to complete planning and design for buildings systems renovations and replacement for the 20,570 GSF pursuant to the Adequacy Planning.

Facility Information	
Rank	215
Gross Square Footage (GSF)	20,570
Campus FCI	53.21%
wNMCi	29.48%
Campus FMAR	90.15
2020-2021 Enrollment	2,004

In October 2021, PSFA received a letter from HMSD informing staff that the district would like to request construction phase funding for the renovation and replacement of the Hobbs HS – Tydings Auditorium cooling generating and air distribution systems. HMSD also requested that the cooling generating and air distribution systems scope of work be completed using a design-build project delivery method.

PSCOC Award and Project History:

- Originally awarded in October 2019. The award for the planning and design phase totaled \$57,169 with a state share (52%) for the planning and design phase funding was \$29,728 and a corresponding local share (48%) was \$27,441.
 - Out year construction phase funding totaled \$514,523 with a state share of \$267,552 (52%) and a local share of \$246,971 (48%)
- The total estimated project cost for the planning, design and construction phase is \$571,692.
 - The State share of the total project cost totaled \$297,280 (52%) with a local share of \$274,412.

Award History State – Local Share per Phase	Total	State Share	Local Share
		52%	48%
Planning and Design Phase	\$ 57,169	\$ 29,728	\$ 27,441
Total Project Cost	\$ 57,169	\$ 29,728	\$ 27,441

Award Language History:

September 18, 2019: *Planning and design funding to complete systems upgrades at the existing facilities to the maximum gross square footage pursuant to the Adequacy Planning Guide for 20,570 square feet (partial campus). Systems are limited to: Heat Generating Systems, Cooling Generating Systems, Air Distribution Systems, Exhaust Ventilation System, and HVAC Controls, as identified in the district's application, including associated incidental systems directly related to the work in this award. Any deviation from the listed systems must receive PSFA approval and associated costs must be within the award amount. Upon completion, district may return to the PSCOC for the next out-of-cycle funding phase.*

Project Schedule: (tentative)

Planning and Design Phase:	November 2021 – March 2022
Construction Phase:	March 2022 – October 2022

Current request:

HMSD is requesting that the PSCOC award construction phase funding for the Hobbs HS systems-based project for the replacement and renovation of the cooling generating and air distribution systems in Tydings Auditorium. HMSD is requesting that the General Contractor that will be procured through Cooperative Educational Services (CES) be allowed to design and build the improvements to the cooling generating and air distribution systems.

Hobbs HS - PSFA Analysis	
Total Estimated Project Cost at time of Award	\$ 571,692
Planning and Design Phase	\$ 57,169
Total Project Cost after Planning - Design Phase Award	\$ 514,523

Design and Out Year Construction Phase Costs by Phase and State - Local Share	Total	52%	48%
		State Share	Local Share
Planning and Design Phase	\$ 57,169	\$ 29,728	\$ 27,441
Construction	\$ 514,523	\$ 267,552	\$ 246,971
Total Estimated Project Cost by Project Phase	\$ 571,692	\$ 297,280	\$ 274,412

Maintenance Performance:

October 20, 2021: The Hobbs Municipal School Districts Preventive Maintenance Plan is current, last updated on May 19, 2021 (annual update required; 6.27.3.11 NMAC) and rated Outstanding with a 5 year history of routine and timely updates. Historical FIMS Proficiency Reports indicate the district is a Good to Outstanding user of the State provided FIMS Maintenance resources. The districts Facility Maintenance Assessment Report (FMAR-F6, 70% recommended) average of 86.19% indicates the district is maintaining their assets to a Good level above the current state average of 72%. The districts FMAR (8/20/2019) recognized a 90.147% Outstanding performance rating with no Life, Health or Safety deficiencies. PSFA staff recommends the district continue their diligence towards improved core maintenance to 90% (Outstanding) ratings by responding to subsequent FMARs and using FIMS to drive district maintenance performance. This district has a maintenance program that should be emulated and drives a quality energy management program.

Staff Recommendation:

Staff recommends approval of amending the 2019-2020 systems based award language for Hobbs HS to include construction phase funding total in \$514,523 with a state share of \$267,552 (52%) and a corresponding local share of \$246,971(48%). PSCOC participation is limited to 20,570 GSF per the award language. Tydings Auditorium is approximately 35,320 GSF, rendering 14,750 GSF of Tydings Auditorium ineligible for PSCOC participation.

GSF Analysis - Tydings Auditorium	
Maximum Allowable GSF per Award Language	20,570
Existing	35,320
GSF Not Eligible and Funded at 100% Local Share	14,750
Total Project GSF	35,320

Staff agrees with the HMSD request to procure a General Contractor through CES using a design-build project delivery method. Where the General Contractor both designs and constructs the replacement building systems. The district also noted that the General Contractor assists in the managing and servicing the district's HVAC Controls and Fire Alarm systems.



Hobbs Municipal Schools

1515 East Sanger

www.hobbsschools.net

Hobbs, New Mexico 88241

Phone: (575) 433-0100

P. O. Box 1030

Hobbs High School
433-0200

Alternative Learning Center
433-0226

Freshman High School
433-0300

Heizer Middle School
433-1100

Highland Middle School
433-1200

Houston Middle School
433-1300

Broadmoor Elementary
433-1500

College Lane Elementary
433-2600

Coronado Elementary
433-2300

Edison Elementary
433-1600

Jefferson Elementary
433-1700

Mills Elementary
433-2400

Murray Elementary / TLC
433-2700

Sanger Elementary
433-1800

Southern Heights
Elementary
433-1900

Stone Elementary
433-2500

Taylor Elementary
433-2000

B.T. Washington Elementary
433-2100

Will Rogers Elementary
433-2200

Nutritional Services
433-0220

Bilingual/Testing
433-0400

Special Services
433-0600

HMS Training Center
433-0247

Warehouse/Maintenance
433-1728

October 4, 2021

New Mexico Public School Facilities Authority
1312 Basehart SE, Suite #200
Albuquerque, New Mexico 87106
Attn: Martica Casias

Re: Hobbs Municipal Schools – Tydings Auditorium Chiller Upgrade S20-007

Dear Ms. Casias,

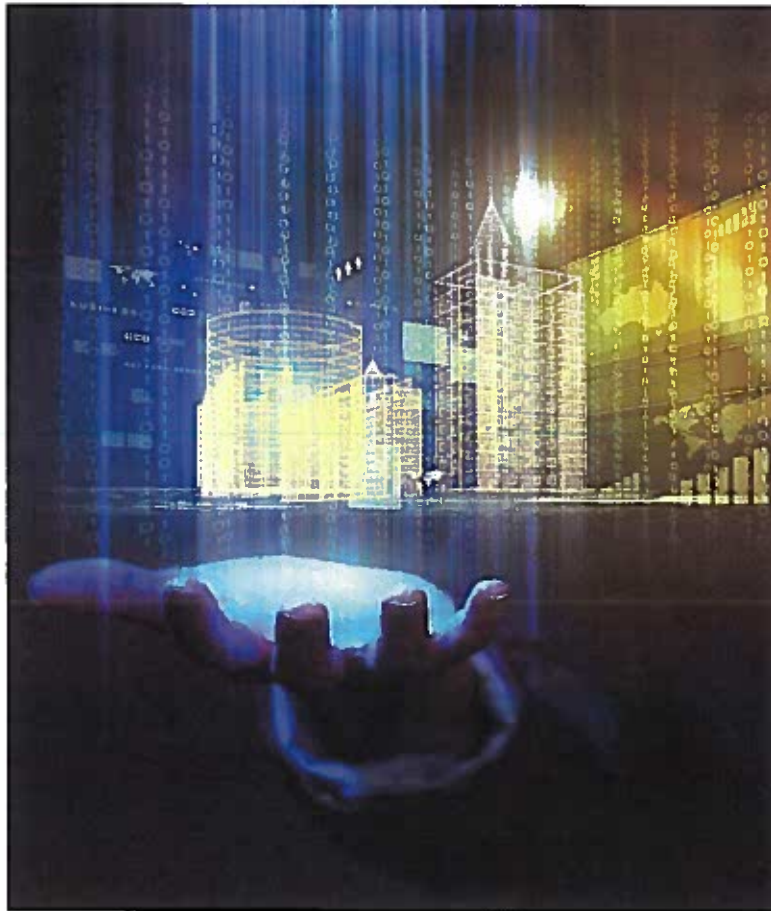
Hobbs Municipal Schools is respectfully requesting that Honeywell Building Solutions be allowed to design and construct the Tydings Auditorium Chiller Upgrade for the following reasons:

1. Honeywell has managed and serviced HVAC Controls and Fire Alarm systems district-wide since 1997.
2. Honeywell has provided design and construction services for the district and is intimately familiar with our facilities and local conditions.
3. They are in constant communication with the district operations and maintenance staff and assist in scheduling and identifying work orders.
4. They are extremely responsive. The district has had issues with other contractors returning to perform warranty work.
5. They are a CES vendors, reducing our procurement time and effort.

The S20-007 is an example where a design-build team can be more efficient and cost effective than the traditional design-bid-build method. We have attached the original proposal that the MOU was based on. However, the district has decided to alter this design, to provide two (2) chillers and allow more efficient use of energy. This will provide separate systems for the auditorium only, and then the balance of the 100 Wing that houses educational spaces. Please note, that the auditorium is also used as a classroom space, but not on a daily basis. A second proposal to redesign this system is also attached. We look forward to review and decision on allowing Honeywell to Design-Build this project, and your participation in both the original and revised proposals.

Thank you,

Frank Mackay
Project Manager
Hobbs Municipal Schools



Proposal for:

**Cooperative Education Services-New Mexico
ELP-F Hobbs Schools Tydings Auditorium Engineering redesign**

Presented by:

**Lori Bruedigam - Sales Professional
Honeywell Building Solutions**

Honeywell International Inc.
Building Systems Agreement

Honeywell Building Solutions

Proposal Number: ELP-F1450081

Proposal Name: Hobbs Municipal Schools-Tydings Auditorium Engineering Re-design

Proposal Date: September 29, 2021

(Buyer)

Cooperative Educational Services

4216 Balloon Park Road, NE

Albuquerque, NM 87109

Contact Person: Diane Hajek

Email: Dhajek@ces.org

Office: 505-344-5740

Fax: 505-344-9343

(HONEYWELL)

**Honeywell International Inc., through its
Honeywell Building Solutions business unit
3509 Durazno Ave
El Paso, Tx 79905**

(Owner)

Hobbs Municipal Schools

1515 E. Sanger

Hobbs, NM 88241

Total Contract Price: \$17,264.69

School District Name: Tydings Auditorium

Work Site Location Address: 1515 E. Sanger

Work Site Name	Street Address	City	St	Zip
Tydings Auditorium	1515 E. Sanger	Hobbs	NM	88241

Revised General Provisions for CES and Honeywell Contract 19-012N-S101-ALL are included by reference. This represents the entire and integrated Contract between the parties and supersedes all prior negotiations, representations, and agreements, whether written or oral. If any conflict arises between the Contract and the Honeywell Building Systems Agreement, the Contract shall prevail and take precedence, and be the controlling document.

Scope of Work: Honeywell shall provide the following equipment and services ("the Work") in accordance with the attached work scope documents and General Terms and Conditions, which form a part of this agreement.

Honeywell's proposal is to provide the mechanical and plumbing re-design for Tydings Auditorium for the following:

- Modify 2018 drawings to reflect Hobbs School's request for two water chillers to separately serve the 100 wing and the auditorium.
- Connection to existing utilities.
- No Fire Protection layout, if required a performance specification will be provided.
- Miscellaneous meetings with Hobbs Schools.
- Outside Air UMC Ventilation Air Calculations.
- Energy Calculations as required.
- As Built Drawings are **not included**.
- Existing piping distribution systems will remain.
- Construction specifications on drawings.
- Construction Administration, submittal review.
- Construction Observations will be invoiced at an additional cost for additional site visits and based on hourly rates.

DELIVERABLES:

We will provide the following deliverables:

- Reviews of the Plans, with Hobbs Schools/Architect.
- Complete documents for construction. Construction documents to include specifications, in Microsoft format (Word: text editor), and drawings in AutoCAD v.2010 format.
- Opinion of construction cost estimate.
- Assistance during construction administration.

Period of Performance: The Work shall commence on contract signing ("Effective Date") and shall be completed by TBD ("Completion Date")

Additional Clarification and/or Exclusions:

- Re-design due to budget constraints (value engineering) after the 95% CD Review documents have been completed is considered ADDITIONAL SERVICES. Honeywell reserves the right to re-negotiate for additional design fees if Mechanical and Plumbing systems are changed after the 95% design phase.
- Review of value engineering proposals from others is excluded from this Proposal.
- As-built drawings, subsequent to construction, are excluded from this Proposal. Construction administration services, submittal review as noted. Additional site visits for as-built drawings, is excluded and shall be invoiced at an hourly rate for the additional hours and site visits required.
- If the Scope of Work described for this project is deviated from that described in this Proposal, then Honeywell shall invoice at an hourly rate separate from this proposal for the additional hours required.
- Any verbal or written direction by Hobbs Schools shall entitle Honeywell to an equitable adjustment in contract price and schedule for any changed work or other work affected by the changed work.
- "Notwithstanding anything to the contrary, in light of the COVID-19 pandemic, the effects of which cannot be foreseen, the parties agree that Honeywell shall be entitled to an equitable extension of time to deliver or perform its work and appropriate additional compensation to the extent Honeywell's delivery or performance, or the delivery or performance of its suppliers and/or subcontractors, is in any way delayed, hindered or otherwise affected by the COVID-19 pandemic."

Project Price	\$15,964.00
NMGRT (6.8125)	1,087.55
CES Admin Fee (1.25%)	213.14
Total Contract	\$17,264.69

Cooperative Educational Services and Hobbs Municipal Schools are included as additional insured for as required by contract

Payment: Upon Customer acceptance of this proposal or contract execution, whichever occurs first, the Customer shall pay Honeywell NA or twenty percent (NA) of the Price. Such payment shall be used for engineering, drafting, and other mobilization costs reasonably incurred prior to on-site installation. **Payment will be made 45 days after billing per the CES-Honeywell master agreement 19-012N-S101-ALL.**

This proposal is valid for 30 days.

Proposal Submitted By: Lori Bruedigam
(Signature)

Name: **Lori Bruedigam**
Title: **Sr. Account Manager**

Acceptance: This proposal and the pages attached shall become an Agreement in accordance only upon signature below by an authorized representative of Honeywell and Hobbs Municipal Schools

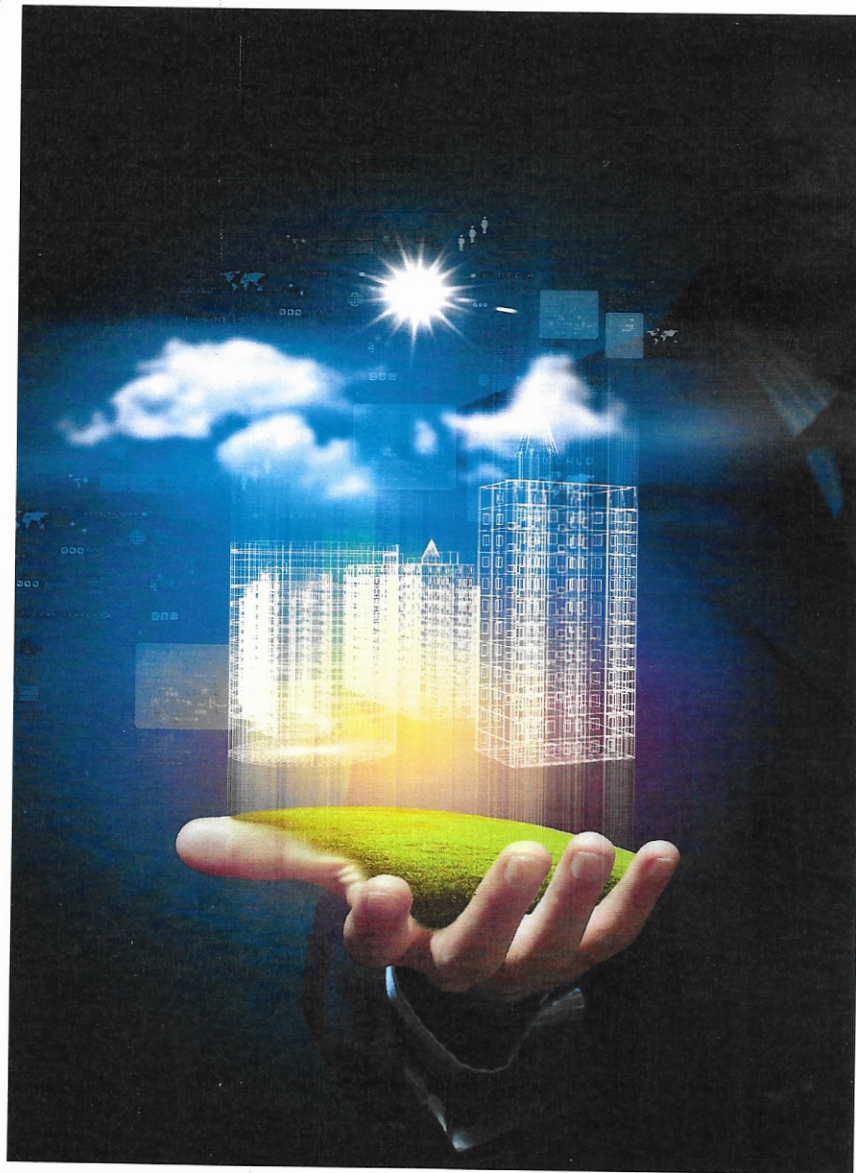
Accepted by:

HONEYWELL INTERNATIONAL INC.,
through its **Honeywell Building Solutions business unit**

OWNER: HOBBS MUNICIPAL SCHOOLS

Signature: By: _____
Name: _____
Title: _____
Date: _____

Signature: By: [Signature]
Name: FRANK H. MACKAY JR.
Title: PROJECT MANAGER
Date: 10/6/2021



Proposal for:

Hobbs Municipal

Hobbs Municipal Schools-Tydings Auditorium Engineering Design

Presented by:

Lori Bruedigam - Sales Professional

Honeywell Building Solutions

Building Systems Agreement**Proposal Number: Opp-1927717-42351****Proposal Name: Hobbs Schools Tydings Auditorium
HVAC Renovation Engineering****Proposal Date: May 8, 2018****(Buyer)****Cooperative Educational Services
4216 Balloon Park Road, NE
Albuquerque, NM 87109****Contact Person: Lori O' Rourke****Email: lori@ces.org****Office: 505-344-5740****Fax: 505-344-9343****(HONEYWELL)****Honeywell International Inc., through its
Honeywell Building Solutions business unit
9201 San Mateo Blvd NE
Albuquerque, NM 87113****(Owner)****Hobbs Municipal Schools
1515 E. Sanger
Hobbs, NM 88241****Total Contract Price: \$34,662.39****School District Name: Hobbs Municipal School District****Work Site Location Address: 1515 E. Sanger
Hobbs, NM 88241**

<i>Work Site Name</i>	<i>Street Address</i>	<i>City</i>	<i>St</i>	<i>Zip</i>
<i>Tydings Auditorium</i>	<i>1515 E. Sanger</i>	<i>Hobbs</i>	<i>NM</i>	<i>88241</i>

Revised General Provisions for CES and Honeywell Contract 2014-016 962-101 are included by reference. This represents the entire and integrated Contract between the parties and supersedes all prior negotiations, representations, and agreements, whether written or oral. If any conflict arises between the Contract and the Honeywell Building Systems Agreement, the Contract shall prevail and take precedence, and be the controlling document.

Scope of Work: Honeywell shall provide the following equipment and services ("the Work") in accordance with the attached work scope documents and General Terms and Conditions, which form a part of this Agreement.

Honeywell's proposal is to provide the mechanical and plumbing design for Tydings Auditorium for the following:

- Replacement of Mechanical systems, water chiller, steam equipment and heating hot water systems and air handling units.
- Connection to existing utilities.
- Miscellaneous meetings with Hobbs Schools.
- Outside Air UMC Ventilation Air Calculations.
- Energy Calculations as required.
- Existing piping distribution systems will remain.
- Construction specifications on drawings.
- Construction Administration, submittal review.

- Construction Observations will be invoiced at an additional cost for additional site visits and based on hourly rates.
- No Fire Protection layout, if required a performance specification will be provided.
- As Built Drawings are **not included**.

DELIVERABLES:

We will provide the following deliverables:

- Reviews of the Plans, with Hobbs Schools/Architect.
- Complete documents for construction. Construction documents to include specifications, in Microsoft format (Word: text editor), and drawings in AutoCAD v.2010 format.
- Opinion of construction cost estimate.
- Assistance during construction administration.
- At the time the district proceeds with construction of the work, Honeywell will credit back some of the costs of the design of the project to Hobbs Municipal Schools.

Period of Performance: The Work shall commence on contract signing ("Effective Date") and shall be completed by TBD ("Completion Date")

Additional Clarification and/or Exclusions:

- Re-design due to budget constraints (value engineering) after the 95% CD Review documents have been completed is considered ADDITIONAL SERVICES. Honeywell reserves the right to re-negotiate for additional design fees if Mechanical and Plumbing systems are changed after the 95% design phase.
- Review of value engineering proposals from others is excluded from this Proposal.
- As-built drawings, subsequent to construction, are excluded from this Proposal. Construction administration services, submittal review as noted. Additional site visits for as-built drawings, is excluded and shall be invoiced at an hourly rate for the additional hours and site visits required.
- If the Scope of Work described for this project is deviated from that described in this Proposal, then Honeywell shall invoice at an hourly rate separate from this proposal for the additional hours required.
- Any verbal or written direction by Hobbs Schools shall entitle Honeywell to an equitable adjustment in contract price and schedule for any changed work or other work affected by the changed work.

<i>Project Price</i>	\$ 32,130.32
<i>NMGRT (6.8125%)</i>	2,188.88
<i>CES Admin Fee</i>	343.19
<i>Total Contract</i>	34,662.39

Cooperative Educational Services and Hobbs Municipal School District are included as additional insured for as required by contract.

Payment: Upon Customer acceptance of this proposal or contract execution, whichever occurs first, the Customer shall pay Honeywell \$6,426.06 or twenty percent (20%) of the Price. Such payment shall be used for engineering, drafting, and other mobilization costs reasonably incurred prior to on-site installation. **Payment will be made 45 days after billing per the CES-Honeywell master agreement 2014-016 962-101.**

This proposal is valid for 30 days.

Proposal Submitted By:




(Signature)


Name: **Lori Bruedigam**
Title: **Account Manager**

Acceptance: This proposal and the pages attached shall become an Agreement in accordance only upon signature below by an authorized representative of Honeywell and **Owner:**

OWNER: HOBBS MUNICIPAL SCHOOLS

Accepted by:
HONEYWELL INTERNATIONAL INC.,
through its **Honeywell Building Solutions business unit**

Signature: By: 
Name: Gene Strickland
Title: Deputy Director of Operations
Date: 5.16.18

Signature: By: 
Name: Michael Flores
Title: District General Manager
Date: 5/18/2018

I. **PSCOC Meeting Date:** November 8, 2021

II. **Item Title:** S22-011 Las Vegas City Paul D. Henry ES - Award Language Change

III. **Name of Presenter(s):** Martica Casias, Interim Director
Daniel Juarez, Senior Projects Coordinator

IV. **Potential Motion:**

Amend the current 2021-2022 systems-based award language to Las Vegas City Schools for Paul D. Henry ES for an increase in the state share of \$229,280 and a decrease in the local share of \$229,280 and reallocation of the district's direct legislative appropriation offset balance of \$229,280 from the Paul D. Henry systems based award to the district's Sierra Vista standards based award. The revised project funding for Paul D. Henry shall be a state share of \$385,000 (35%) and a local share of \$715,000 (65%).

V. **Executive Summary:**

Summary:

- District is requesting that the direct legislative appropriation offset balance of \$229,280 be reallocated from the Paul D. Henry systems based award to the district's Sierra Vista standards based award.
- Direct legislative appropriation offset balance would have increased the local share by 21% and reduced the state share by the same amount.
- Applying the Direct legislative appropriation offset balance to the district's standard based award for Sierra Vista ES would reduce the state share by 27%.
- PSFA received a letter from Las Vegas City Schools requesting that direct legislative appropriation offset balance be reallocated from Paul D. Henry systems based award to the Sierra Vista ES standards based award.

Background:

Las Vegas City Schools (LVCS) was originally awarded design and construction phase funding in July 2021 for Paul D. Henry ES to complete design for demolition of 32,591 GSF of the 1954 building.

In August 2021, PSFA received a letter from LVCS informing staff that the district would like to request that the district's direct legislative appropriation offset balance

totaling \$229,280 be reallocated from the systems based award for Paul D. Henry ES to the standards based award for Sierra Vista ES.

Facility Information	
Rank	N/A
Gross Square Footage (GSF)	32,591
Campus FCI	N/A
wNMCI	N/A
Campus FMAR	N/A
2020-2021 Enrollment	N/A

PSCOC Award and Project History:

- Originally awarded in July 2021. The award for the design and construction phase totaled \$1,100,00 with a state share (35%) for the design and construction phase funding was \$385,000 and a corresponding local share (65%) was \$715,000.
 - The district had a direct legislative appropriation offset balance totaling \$229,280. The offset balance revised the state share to \$155,720 (14%) and the local share to \$944,280 (86%).

Award History State - Local Share per Phase	Total	State Share	Local Share
		35%	65%
Design and Construction Phase - State Share (35%)-Local Share (65%)	\$ 1,100,000	\$ 385,000	\$ 715,000
Direct Legislative Appropriation	\$ 229,280	\$ (229,280)	\$ 229,280
Design and Construction Phase - State Share (16%)-Local Share (84%)	\$ 1,100,000	\$ 155,720	\$ 944,280
Total Project Cost	\$ 1,100,000	\$ 155,720	\$ 944,280

Award Language History:

July 12, 2021: *Design/Construction funding to complete site survey, abatement of lead/asbestos, demolition, and final grading/drainage modifications limited to 32,591 GSF of the 1954 building, and drainage/grading of adjacent site. Systems eligible for state funding are limited to: Demolition, as identified in the district's application. Costs for any work that may be required for other associated building systems will be the sole responsibility of the district.*

Project Schedule: (tentative)

Design Phase: December 2021 – July 2022

Construction Phase: July 2022 – December 2022

Current Request:

LVCS is requesting that the PSCOC amend the systems-based award language for Paul D. Henry to exclude the district's direct legislative appropriation offset balance of \$229,280 from the State-Local share of the awarded \$1,100,000. LVCS also requests that the offset balance be reallocated to the standards based project for Sierra Vista ES (P19-006).

Award History State - Local Share per Phase	Total	State Share	Local Share
		35%	65%
Design and Construction Phase	\$ 1,100,000	\$ 385,000	\$ 715,000
Total Project Cost	\$ 1,100,000	\$ 385,000	\$ 715,000

Maintenance Performance:

October 26, 2021, the Las Vegas City School Districts Preventive Maintenance Plan is current, last updated November 30, 2020 (annual update required; 6.27.3.11 NMAC) and rated Outstanding. Quarterly FIMS Proficiency Reports indicate the district is using all 3 State provided FIMS Maintenance resources to a Satisfactory performance rating. The districts Facility Maintenance Assessment Report (FMAR F6) average of 66.31% indicates marginal maintenance performance currently below the state average of 72% and improving. The districts recent FMAR for Paul D. Henry ES (3/13/2017) recognized a 68.162% Marginal rating with 4 Minor and 2 Major Life, Health, Safety deficiencies. PSFA staff recommends the district Respond to subsequent FMARs through the 60-day response process; Continue their diligence towards improved core maintenance to a minimal district average FMAR performance of 70% (Satisfactory) rating; And, continue using the FIMS tools and resources to drive district maintenance performance.

Staff Recommendation:

Staff recommends reallocating the district's direct legislative appropriation offset balance totaling \$229,280 from the Paul D. Henry ES systems-based award to the district's standard based award for Sierra Vista ES.

Applying the offset balance to the Paul D. Henry ES systems-based award reduced the state share by \$229,280 or (21%) from 35% to 14% and increased the local share by the same amount from 65% to 86%.

The funding for the Paul D. Henry award would revert to the original \$385,000 (35%) state share and the original local share \$715,000 (65%), per the 2021-2022 PSCOC systems based capital outlay awards.

Las Vegas City Schools

L. Larryssa Archuleta
Superintendent

901 Douglas Avenue
Las Vegas, New Mexico 87701
Phone: (505) 454-5700
Fax: (505) 454-5712

www.cybercardinal.com

August 13, 2021

Mr. Jonathan Chamblin, Executive Director
Public School Facilities Authority
1312 Basehart Road, SE Suite 200
Albuquerque, NM 87106

Dear Mr. Chamblin:

Las Vegas City Schools hereby requests that the offset funding amount from the Paul D. Henry ES Demolition Project in the amount of \$229,279 be added to the Sierra Vista Elementary School project.

If I may answer any questions regarding this request, please contact me via telephone at (505) 454-5721, via mobile number (505) 429-0272 or email at larryssaarchuleta@cybercardinal.com.

Sincerely,



L. Larryssa Archuleta
Superintendent of Schools

Cc: Mona Martinez, Chief Procurement Office/Staff Attorney
Nadine Baca, Funding Programs Manager

**State of New Mexico
Public School Capital Outlay Council**

Chair:
Joe Guillen, NMSBA

Members:
Ashley Leach, DFA
David Abbey, LFC
David L. Robbins, PEC
Mariana Padilla, Governor's Office



Vice Chair:
Raúl Burciaga, LCS

Members:
Rachel S. Gudgel, LESC
Antonio Ortiz, PED
Clay Bailey, CID

**Public School Facilities Authority
Jonathan Chamblin, Director**
1312 Basehart Road, SE, Suite 200, Albuquerque, NM 87106
(505) 843-6272 (Phone); (505) 843-9681 (Fax)
Website: www.nmpsfa.org

July 14, 2021

Ms. L. Larryssa Archuleta, Superintendent
Las Vegas City Schools
901 Douglas Ave.
Las Vegas, NM 87701

Dear Superintendent Archuleta,

We are pleased to inform you that the Public School Capital Outlay Council (PSCOC) has approved an award to the Las Vegas City Schools 2021-2022 Systems-Based Capital Outlay Program. The total net state award for Phase 1 is \$155,721, after an applied direct appropriation offset of \$229,279, for the following project:

School:

Paul D. Henry ES

Award Language:

Design/construction funding to complete site survey, abatement of lead/asbestos, demolition, and final grading/drainage modifications. Systems eligible for state funding are limited to: Demolition and site grading, as identified in the district's application. Costs for any work that may be required for other associated building systems will be the sole responsibility of the district.

Please note that the award can be used *only* for the project(s) and purpose(s) specified.

Please submit this letter accepting the award by signature of both the Board of Education and the Superintendent to: Ms. Nadine Baca, PSFA Funding Programs Manager, via email at nbaca@nmpsfa.org or via mail at 1312 Basehart SE, Suite 200, Albuquerque, NM 87106. **Deadline for the acceptance of this award is August 13, 2021.**

Prior to the expenditure or draw down of any state awarded funds, you must contact your PSFA Regional Facilities Manager (RFM) who will assist you through the procurement and selection processes to complete the work and must remain involved throughout the project. All projects shall utilize standard PSFA contracts, procedures, and reporting requirements. The details of the project must be agreed to mutually in writing between the District and the PSFA through MOUs, which shall be executed following acceptance of the award by the District.

The MOU shall be signed and uploaded into the Construction Information Management Systems (CIMS) within 30 days of the receipt.

In addition to the project specific contingencies or other requirements specified in the award language, additional conditions were adopted by the PSCOC (see attached).

All districts are advised to expend these awarded funds, as well as past award balances, a timely manner. If you have any questions concerning the award, please contact Ms. Nadine Baca, PSFA Funding Programs Manager, at 505-468-0283.

Once more, we would like to extend our congratulations. We look forward to working with you in our common purpose of providing better school facilities for the children of New Mexico.

Sincerely,

Joe Guillen, Chair
Public School Capital Outlay Council

cc: Jonathan Chamblin, Director, PSFA
Daniel Juarez, PSFA Regional Facilities Manager

Attachments: 2021-2022 PSCOC Standards-Based Awards 7-12-21
2021-2022 PSCOC Standards-Based Award Additional Conditions

DECLARATION OF AWARD ACCEPTANCE

The undersigned below hereby certifies that the 2021-2022 Systems-Based Capital Outlay Award to Las Vegas City Schools for the project at Paul D. Henry ES: *(check one)*

☒ **Accepted**

☐ **Rejected**

by the district and all project specific contingencies and additional conditions that were adopted by the PSCOC at the meeting on July 12, 2021 are understood and accepted. The awarded funds will be expended only for the stated uses and all contingencies will be met.


ACCEPTED BY:



School Board President
Las Vegas City Schools

DATE:

8/13/21



Larryssa Archuleta, Superintendent
Las Vegas City Schools

DATE:

8/13/21

I. **PSCOC Meeting Date:** November 8, 2021

II. **Item Title:** P19-006 Las Vegas City Sierra Vista ES - Award Language Change

III. **Name of Presenter(s):** Martica Casias, Interim Director
Daniel Juarez, Senior Projects Coordinator

IV. **Potential Motion:**

Amend the current 2018-2019 standards-based award language to Las Vegas City Schools for Sierra Vista ES for an decrease in the state share of \$229,280 and a increase in the local share of \$229,280 and reallocation of the district's direct legislative appropriation offset balance of \$229,280 from the Paul D. Henry systems based award to the district's Sierra Vista standards based award. The revised project funding for Sierra Vista ES shall be a state share of \$218,118 (26%) and a local share of \$626,030 (74%).

V. **Executive Summary:**

Summary:

- District is requesting that the direct legislative appropriation offset balance of \$229,280 be reallocated from the Paul D. Henry systems based award to the district's Sierra Vista standards based award.
- Direct legislative appropriation offset balance would increase the local share by 27% and decrease the state share by the same amount.
- PSFA received a letter from Las Vegas City Schools requesting that direct legislative appropriation offset balance be reallocated from Paul D. Henry systems based award to the Sierra Vista ES standards based award.

Background:

Las Vegas City Schools (LVCS) was originally awarded planning and design phase funding in September 2018 for Sierra Vista ES to complete planning and design for the renovation of the existing facilities for 33 students, 3&4 year old DD Pre-K-6.

In August 2021, PSFA received a letter from LVCS informing staff that the district would like to request that the district's direct legislative appropriation offset balance totaling \$229,280 be reallocated from the systems based award for Paul D. Henry ES to the standards based award for Sierra Vista ES.

Facility Information	
Rank	36
Gross Square Footage (GSF)	44,756
Campus FCI	61.80%
wNMCI	46.85%
Campus FMAR	53.78%
2020-2021 Enrollment	254

PSCOC Award and Project History:

- Originally awarded in September 2018. The award for the planning and design phase totaled \$844,148 with a state share (53%) for the design and construction phase funding was \$447,398 and a corresponding local share (65%) was \$396,750.
 - Out year construction funding is estimated to total \$7,597,331 with a state share of \$4,026,585 (53%) and a corresponding local share of \$3,570,746 (47%).

Award History State - Local Share per Phase	Total	State Share	Local Share
		53%	47%
Design	\$ 844,148	\$ 447,398	\$ 396,750
Out Year Construction Estimate	\$ 7,597,331	\$ 4,026,585	\$ 3,570,746
Total Estimated Project Cost by Project Phase	\$ 8,441,479	\$ 4,473,984	\$ 3,967,495

Award Language History:

September 19, 2018: *Planning, and design, for renovation of the existing facilities to the GSF pursuant to the Adequacy Planning Guide for 330 students, 3&4-year-old DD Pre-K-6th grade.*

Project Schedule: (tentative)

Planning Phase: October 2018 – July 2021

Design Phase: July 2021 – July 2022

Current Request:

LVCS is requesting that the PSCOC amend the standards-based award language for Sierra Vista ES to include the district's direct legislative appropriation offset balance of \$229,280 in the State-Local share of the awarded \$844,148.

The district's request to apply district's direct legislative appropriation offset balance to the Sierra Vista ES standards-based project in lieu of applying the offset balance to the districts Paul D. Henry ES systems-based award. Would result in a revised state share of \$218,118 (26%) and a revised local share of \$626,030 (74%).

Award History State - Local Share per Phase	Total	State Share	Local Share
Design and Construction Phase - State Share (53%)-Local Share (47%)	\$ 844,148	\$ 447,398	\$ 396,750
Direct Legislative Appropriation	\$ 229,280	\$ (229,280)	\$ 229,280
Design and Construction Phase - State Share (26%)-Local Share (74%)	\$ 844,148	\$ 218,118	\$ 626,030

Maintenance Performance:

October 26, 2021, the Las Vegas City School Districts Preventive Maintenance Plan is current, last updated November 30, 2020 (annual update required; 6.27.3.11 NMAC) and rated Outstanding. Quarterly FIMS Proficiency Reports indicate the district is using all 3 State provided FIMS Maintenance resources to a Satisfactory performance rating. The districts Facility Maintenance Assessment Report (FMAR F6) average of 66.31% indicates marginal maintenance performance currently below the state average of 72% and improving. The districts recent FMAR for Paul D. Henry ES (3/13/2017) recognized a 68.162% Marginal rating with 4 Minor and 2 Major Life, Health, Safety deficiencies. PSFA staff recommends the district Respond to subsequent FMARs through the 60-day response process; Continue their diligence towards improved core maintenance to a minimal district average FMAR performance of 70% (Satisfactory) rating; And, continue using the FIMS tools and resources to drive district maintenance performance.

Staff Recommendation:

Staff recommends applying the district's direct legislative appropriation offset balance totaling \$229,280 to the district's standard based award for Sierra Vista ES in lieu of applying the offset balance to the district's systems based award for Paul D. Henry ES.

Applying the offset balance to the Sierra Vista ES standards based award reduced the state share by \$229,280 or (27%) from 53% to 26% and increased the local share by the same amount from 47% to 74%.

The amended planning and design funding for the Sierra Vista ES standards-based award would total \$844,148 with a revised state share of \$218,118 (26%) and a revised local share of \$626,030 (74%).

Las Vegas City Schools

L. Larryssa Archuleta
Superintendent

901 Douglas Avenue
Las Vegas, New Mexico 87701
Phone: (505) 454-5700
Fax: (505) 454-5712

www.cybercardinal.com

August 13, 2021

Mr. Jonathan Chamblin, Executive Director
Public School Facilities Authority
1312 Basehart Road, SE Suite 200
Albuquerque, NM 87106

Dear Mr. Chamblin:

Las Vegas City Schools hereby requests that the offset funding amount from the Paul D. Henry ES Demolition Project in the amount of \$229,279 be added to the Sierra Vista Elementary School project.

If I may answer any questions regarding this request, please contact me via telephone at (505) 454-5721, via mobile number (505) 429-0272 or email at larryssaarchuleta@cybercardinal.com.

Sincerely,



L. Larryssa Archuleta
Superintendent of Schools

Cc: Mona Martinez, Chief Procurement Office/Staff Attorney
Nadine Baca, Funding Programs Manager

**State of New Mexico
Public School Capital Outlay Council**

Chair:
David Abbey, LFC

Members:
Antonio Ortiz, PED
Rachel Gudgel, LESC
Gilbert Peralta, PEC
Sara Fitzgerald, Governor's Office



Vice Chair:
Pat McMurray, CID

Members:
Joe Guillen, NMSBA
Raul Burciaga, LCS
Nina Carranco, DFA

Public School Facilities Authority
Jonathan Chamblin, Director
1312 Basehart Road, SE, Suite 200
Albuquerque, NM 87106
(505) 843-6272 (Phone); (505) 843-9681 (Fax)
Website: www.nmpsfa.org

September 24, 2018

Mr. Kelt Cooper, Superintendent
Las Vegas City Schools
901 Douglas Avenue
Las Vegas, NM 87701

Dear Superintendent Cooper,

We are pleased to inform you that the Public School Capital Outlay Council (PSCOC) has approved a total net state award of \$447,398 after an applied direct appropriation offset of \$- from the 2018-2019 Standards-Based Capital Outlay Program to the Las Vegas City Schools for the following project:

School:

Sierra Vista ES

Award Language:

Planning, and design, for renovation of the existing facilities to the GSF pursuant to the Adequacy Planning Guide for 330 students, 3&4-year-old DD Pre-K-6th grade.

Please note that the award can be used *only* for the project(s) and purpose(s) specified.

Please submit this letter accepting the award by signature of both the Board of Education and the Superintendent to: Ms. Casandra Cano, Programs Support Manager, via email at ccano@nmpsfa.org or via mail at 1312 Basehart SE, Suite 200, Albuquerque, New Mexico 87106. **Deadline for the acceptance of this grant is October 26, 2018.**

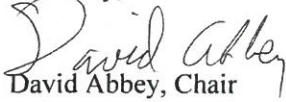
Prior to the expenditure or draw down of any state awarded funds, you must contact your PSFA Regional Facilities Manager (RFM) who will assist you through the procurement and selection processes to complete the work and must remain involved throughout the project. All projects shall utilize standard PSFA contracts, procedures, and reporting requirements. The details of the project must be agreed to mutually in writing between the District and the PSFA through MOUs, which shall be executed following acceptance of the award by the District. **The signed MOU shall be returned to your PSFA Regional Manager no later than November 26, 2018.**

In addition to project specific contingencies or other requirements specified in the award language, additional conditions were adopted by the PSCOC (see attached).

All districts are advised to expend these awarded funds, as well as past award balances, in a timely manner. If you have questions concerning the award, please contact Ms. Casandra Cano, Programs Support Manager, at 505-468-0283.

Once more, we would like to extend our congratulations. We look forward to working with you in our common purpose of providing better school facilities for the children of New Mexico.

Sincerely,



David Abbey, Chair
Public School Capital Outlay Council

cc: Jonathan Chamblin, Director, PSFA
Irina Ivashkova, PSFA Regional Facilities Manager

Attachments: 2018-2019 PSCOC Standards-Based Awards 09-19-18
2018-2019 PSCOC Standards-Based Award Additional Conditions

DECLARATION OF AWARD ACCEPTANCE

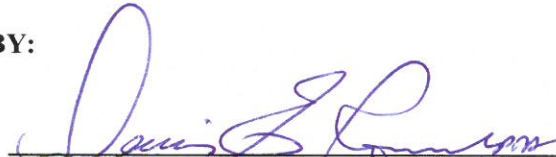
The undersigned below hereby certifies that the 2018-2019 Standards-Based Capital Outlay Award to the Las Vegas City Schools for the project at Sierra Vista ES is: **(check one)**

☒ **Accepted**

☐ **Rejected**

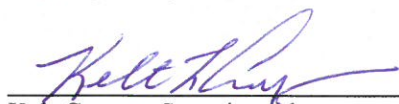
by the district and all project specific contingencies and additional conditions that were adopted by the PSCOC at the meeting on September 19, 2018 are understood and accepted. The awarded funds will be expended only for the stated uses and all contingencies will be met.

ACCEPTED BY:



School Board President
Las Vegas City Schools

DATE: 10/17/18



Kelt Cooper, Superintendent
Las Vegas City Schools

DATE: 10/17/18

I. **PSCOC Meeting Date:** November 8, 2021

II. **Item Title:** 2021 Cat2 Final Awards

III. **Name of Presenter:** Ovidiu Viorica – Broadband Program Manager

IV. **Potential Motions:**

Make Broadband Deficiencies Correction Program (BDCP) awards of actual E-rate-approved project amounts to provide the state match for application funding year 2021 for Category 2 to six districts/schools for a total of \$39,108.34 up to the amounts listed in column O of the award spreadsheet on page 2 of this agenda item. Award an \$8,000.00 contingency fund to account for potential equipment/chip shortage. Any unused contingency amounts will revert to the PSCO fund. Each allocation is intended to fully complete the project, phase, or specified purpose.

V. **Executive Summary:**

The six school districts/charters listed received their funding commitment decision letter (FCDL) from the E-rate program.

The PSCOC awards totaling \$39,108.34 will assist schools in providing network equipment upgrades of ~\$560,000. The state award amount was adjusted downward slightly (compared to Awards materials) to account for an item confirmed to be BDCP ineligible.

Chip and equipment shortages can force contractors to cancel funded projects, with E-rate funding and all the associated work being lost and school networks and connectivity being affected.

This award is the second group of Cat2 (Network Equipment) projects from the 2021 E-rate cycle.



2021 Category 2 Equipment - November 2021

	A	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P
	Budget Award Estimates								Final Award Requests								
District	Estimated Project Cost	E-rate Ineligible Cost*	E-Rate Discount %	E-Rate Share	Non-Discount Portion Eligible for BDCP Funding	State Match %	State Share	District Share	FCDL Approved Amount	BDCP Ineligible Amount *	E-rate Discount %	E-rate Share	FCDL Approved LESS BDCP Ineligible	BDCP Eligible Non-Discount Amount	State Match %	Revised State Match	Revised District Match
¹ Alma D' Arte	\$29,894.93		85%	\$25,410.69	\$ 4,484.24	50%	\$ 2,242.12	\$ 2,242.12	\$ 25,000.00	\$ -	85%	\$ 21,250.00	\$ 25,000.00	\$ 3,750.00	50%	\$ 1,875.00	\$ 1,875.00
² Dexter Consolidated	\$126,914.32		85%	\$107,877.17	\$ 19,037.15	78%	\$ 14,848.98	\$ 4,188.17	\$ 38,426.82	\$ 26,184.40	85%	\$ 32,662.80	\$ 12,242.42	\$ 1,836.36	78%	\$ 1,432.36	\$ 4,331.66
³ Gadsden Independent Schools	\$442,788.19		85%	\$376,369.96	\$ 66,418.23	76%	\$ 50,477.85	\$ 15,940.37	\$ 441,281.29	\$ 166,375.44	85%	\$ 375,089.10	\$ 274,905.85	\$ 41,235.88	76%	\$ 31,339.27	\$ 34,852.93
⁴ Tierra Adentro	\$75,289.21		80%	\$60,231.37	\$ 15,057.84	36%	\$ 5,420.82	\$ 9,637.02	\$ 47,419.81	\$ -	80%	\$ 37,935.85	\$ 47,419.81	\$ 9,483.96	36%	\$ 3,414.23	\$ 6,069.74
⁵ San Diego Riverside	\$8,311.35		85%	\$7,064.65	\$ 1,246.70	36%	\$ 448.81	\$ 797.89	\$ 8,311.35	\$ -	85%	\$ 7,064.65	\$ 8,311.35	\$ 1,246.70	36%	\$ 448.81	\$ 797.89
⁶ Southwest Learning Centers	\$4,157.41		60%	\$2,494.45	\$ 1,662.96	36%	\$ 598.67	\$ 1,064.30	\$ 4,157.41	\$ -	60%	\$ 2,494.45	\$ 4,157.41	\$ 1,662.96	36%	\$ 598.67	\$ 1,064.30
⁷ Contingency for chip shortage (~20% of the state share)				\$0.00	\$ -		\$ -	\$ -				\$ -	\$ -	\$ -		\$ 8,000.00	\$ -
TOTAL COUNCIL ACTION FOR CURRENT MEETING	\$ 687,355	\$ -		\$ 579,448	\$ 107,907.12		\$ 74,037.25	\$ 33,869.87	\$ 564,596.68	\$ 192,559.84		\$ 476,496.84	\$ 372,036.84			\$ 47,108.34	\$ 48,991.51

Notes:
* BDCP Ineligible Costs are non-infrastructure costs and will be divided between the District and USAC.

I. **PSCOC Meeting Date:** November 8, 2021

II. **Item Title:** 2021-2022 Lease Assistance Remaining Awards

III. **Name of Presenter:** Alyce Ramos – Programs Manager

IV. **Potential Motion:**

Approval of the award recommendations, as specified in the accompanying spreadsheet entitled “*FY22 Lease Assistance Program Detail Summary*,” to 4 charter and district school applicants, in the amount of \$637,193. This award scenario represents a discretionary 2% increase in the MEM rate, as approved by the Council and as allowed by statute.

Upon acceptance of the award by the applicant charter school or district, Council authorizes PSFA staff to distribute the award amounts quarterly, on a reimbursement basis, upon receiving proof of the actual lease payments. Council authorizes PSFA staff to make reductions to award amounts subject to PED and/or PEC written certification to PSFA that a condition exists that warrants an award adjustment or suspension due to a school closure, charter revocation, financial violation or irregularities, and or adjustments to certified attendance numbers (MEM counts). Adjustments to lease amounts may also be made due to a lease termination or amendment. Reimbursements are contingent on the submittal of an E-Occupancy certificate, current facility master plan, audit report, invoices and other statutory requirements, as set forth in the application.

V. **Executive Summary:**

Background:

PSFA received 110 lease assistance applications. The application was open March 15, 2021 through April 23, 2021. Not all applications submitted the documents and information required to calculate potential award amounts. Upon review of the applications, PSFA staff communicated with the schools to collect the required documentation to complete the calculations. Five (5) applications were not ready for an award in September due to incomplete or insufficient documentation and additional time needed to review resubmitted documents.

PSFA has reviewed the submitted documentation from the five remaining schools that did not receive lease assistance awards in September. Four of the schools are now ready for an award.

- Siembra Leadership – The school submitted an amended lease to extend the lease term through the entirety of the fiscal year.

- DEAP –The current lease expires October 31, 2021. The charter school did not submit an extended lease through the entirety of the fiscal year. Therefore, an award has been calculated for July through October only.
- School of Dreams - PSFA reviewed the new LPA.
- Early College – The school submitted the current MOU; however, the effective date of the MOU started August 23, 2021. Therefore, the annual lease amount was prorated to discount July 1 – August 23, 2021.

One charter school lease is not ready for award at this time.

- Tierra Adentro of NM – additional review of the new LPA is needed.

Staff Recommendation:

Award lease assistance to the 4 schools that did not receive awards in September, as listed on the accompanying spreadsheet for a total amount of \$637,193, based on the following methodology:

- Use \$762.24 per MEM for calculated lease assistance based on MEM.
 - A 2% increase has been applied to the MEM rate.
- Add 20% additional square footage to the measured, eligible classroom and admin square footage for all schools. This additional square footage accounts for tare space (restrooms, hallways, and building support spaces).

Combined with the awards made in September, the lease assistance awards will total \$17,689,559.

Reimbursements are contingent on the submittal of all required documents, including: E-Occupancy certificate, current facility master plan, audit report, charter school contract, conflict of interest questionnaire, and other statutory requirements, as set forth in the application.

FY22 Lease Assistance Program Detail Summary - Remaining Awards

MEM Rate: \$762.24 per MEM

20% Additional Square Footage Added for Tare

				MEM		Square Feet				Square Feet and Lease Calculations				Additional Square Footage Added for 20% Tare			FY22 Lease Assistance	
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S
	District	State / District	School	FY22 Number of MEM	Lease Assistance Calculation Based on MEM (\$762.24 per MEM)	Classroom Square Feet	Admin Square Feet	Total Square Feet Eligible for Lease Assistance (G+H)	Actual Total Building Square Feet	Percent of Lease Amount Eligible for Lease Assistance (I/J)	Actual Annual Lease Amount Paid by the School	Lease Assistance Calculation Based on Square Feet of Lease (K*L)	Lease Assistance without Tare (Lesser of Calculation Based on MEM or SF of Lease) (F or M)	Total Square Feet Eligible for Lease Assistance with Tare (G+H+20%)	Percent of Lease Amount Eligible for Lease Assistance with Tare (O/J)	Lease Assistance Calculation Based on Square Feet of Lease with 20% Added for Tare (L*P)	FY22 Lease Assistance Amount (Lesser of Calculation Based on MEM or SF of Lease with Tare) (F or Q)	FY22 Basis of Lease Assistance (MEM or SF of Lease)
1	ABQ	D	Siembra Leadership HS	176.50	\$ 134,535	5,618	414.75	6,032.75	7,166	84.19%	\$ 124,917	\$ 105,162	\$ 105,162	7,239	101.02%	\$ 126,195	\$ 126,195	SF of Lease
2	GMCS	S	Dzil Diti'ooi School of Empowerment, Action & Perseverance	45.00	\$ 34,301	1,986	217.50	2,203.50	2,880	76.51%	\$ 18,622	\$ 14,248	\$ 14,248	2,644	91.81%	\$ 17,097	\$ 17,097	SF of Lease
3	Los Lunas	S	School of Dreams Academy	468.50	\$ 357,109	23,352	852.75	24,204.75	31,504	76.83%	\$ 687,774	\$ 528,422	\$ 357,109	29,046	92.20%	\$ 634,106	\$ 357,109	MEM
4	Roswell	S	Early College High School	187.00	\$ 142,539	6,948	430.50	7,378.50	10,627	69.43%	\$ 164,180	\$ 113,993	\$ 113,993	8,854	83.32%	\$ 136,791	\$ 136,791	SF of Lease
FY22 Total Lease Assistance																	\$637,193	

FY22 Lease Assistance Program Detail Summary

MEM Rate: \$762.24 per MEM

20% Additional Square Footage Added for Tare

				MEM		Square Feet				Square Feet and Lease Calculations				Additional Square Footage Added for 20% Tare			FY22 Lease Assistance	
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S
	District	State / District	School	FY22 Number of MEM	Lease Assistance Calculation Based on MEM (\$762.24 per MEM)	Classroom Square Feet	Admin Square Feet	Total Square Feet Eligible for Lease Assistance (G+H)	Actual Total Building Square Feet	Percent of Lease Amount Eligible for Lease Assistance (I/J)	Actual Annual Lease Amount Paid by the School	Lease Assistance Calculation Based on Square Feet of Lease (K*L)	Lease Assistance without Tare (Lesser of Calculation Based on MEM or SF of Lease) (F or M)	Total Square Feet Eligible for Lease Assistance with Tare (G+H+20%)	Percent of Lease Amount Eligible for Lease Assistance with Tare (O/J)	Lease Assistance Calculation Based on Square Feet of Lease with 20% Added for Tare (L*P)	FY22 Lease Assistance Amount (Lesser of Calculation Based on MEM or SF of Lease with Tare) (R or Q)	FY22 Basis of Lease Assistance (MEM or SF of Lease)
1	ABQ	D	Albuquerque Charter Academy	368.50	\$ 280,885	13,742	702.75	14,444.75	27,838	51.89%	\$ 211,498	\$ 109,743	\$ 109,743	17,334	62.27%	\$ 131,692	\$ 131,692	SF of Lease
2	ABQ	D	ACE Leadership High School	209.50	\$ 159,689	12,895	464.25	13,359.25	23,190	57.61%	\$ 404,034	\$ 232,755	\$ 159,689	16,031	69.13%	\$ 279,306	\$ 159,689	MEM
3	ABQ	S	ACES Technical Charter School	45.00	\$ 34,301	9,621	217.50	9,838.50	12,163	80.89%	\$ 173,225	\$ 140,120	\$ 34,301	11,806	97.07%	\$ 168,144	\$ 34,301	MEM
4	ABQ	S	Albuquerque Bilingual Academy	374.50	\$ 285,459	33,403	711.75	34,114.75	45,501	74.98%	\$ 585,929	\$ 439,305	\$ 285,459	40,938	89.97%	\$ 527,166	\$ 285,459	MEM
5	ABQ	S	Albuquerque Collegiate	129.50	\$ 98,710	9,814	344.25	10,158.25	14,114	71.97%	\$ 371,000	\$ 267,019	\$ 98,710	12,190	86.37%	\$ 320,423	\$ 98,710	MEM
6	ABQ	S	Albuquerque Institute for Math & Science	378.50	\$ 288,508	17,797	717.75	18,514.75	28,020	66.08%	\$ 478,772	\$ 316,358	\$ 288,508	22,218	79.29%	\$ 379,629	\$ 288,508	MEM
7	ABQ	S	Albuquerque School of Excellence - Main	448.00	\$ 341,484	28,497	822.00	29,319.00	44,164	66.39%	\$ 684,981	\$ 454,736	\$ 341,484	35,183	79.66%	\$ 545,683	\$ 341,484	MEM
8	ABQ	S	Albuquerque School of Excellence - ES	408.00	\$ 310,994	25,502	762.00	26,264.00	44,664	58.80%	\$ 602,652	\$ 354,381	\$ 310,994	31,517	70.56%	\$ 425,257	\$ 310,994	MEM
9	ABQ	D	Albuquerque Talent Development Academy	111.00	\$ 84,609	13,384	316.50	13,700.50	16,708	82.00%	\$ 264,000	\$ 216,479	\$ 84,609	16,441	98.40%	\$ 259,775	\$ 84,609	MEM
10	ABQ	D	Alice King Community School	462.50	\$ 352,536	32,753	843.75	33,596.75	50,908	66.00%	\$ 510,235	\$ 336,730	\$ 336,730	40,316	79.19%	\$ 404,076	\$ 352,536	MEM
11	ABQ	S	Altura Preparatory School	178.50	\$ 136,060	13,100	417.75	13,517.75	21,696	62.31%	\$ 298,763	\$ 186,145	\$ 136,060	16,221	74.77%	\$ 223,374	\$ 136,060	MEM
12	ABQ	S	Amy Biehl High School - Main Building	273.00	\$ 208,092	25,733	559.50	26,292.50	39,264	66.96%	\$ 220,841	\$ 147,883	\$ 147,883	31,551	80.36%	\$ 177,459	\$ 177,459	SF of Lease
13	ABQ	S	Amy Biehl High School - Simms Building	273.00	\$ 208,092	2,165	559.50	2,724.50	3,420	79.66%	\$ 24,720	\$ 19,693	\$ 19,693	3,269	95.60%	\$ 23,631	\$ 23,631	SF of Lease
14	ABQ	S	Cesar Chavez Community School	204.50	\$ 155,878	19,392	456.75	19,848.75	26,987	73.55%	\$ 431,880	\$ 317,645	\$ 155,878	23,819	88.26%	\$ 381,174	\$ 155,878	MEM
15	ABQ	D	Christine Duncan's Heritage Academy	391.50	\$ 298,417	25,293	737.25	26,030.25	34,580	75.28%	\$ 420,000	\$ 316,157	\$ 298,417	31,236	90.33%	\$ 379,388	\$ 298,417	MEM
16	ABQ	D	Cien Aguas International School - Randolph	424.00	\$ 323,190	18,453	786.00	19,239.00	28,334	67.90%	\$ 464,399	\$ 315,330	\$ 315,330	23,087	81.48%	\$ 378,397	\$ 323,190	MEM
17	ABQ	D	Coral Community Charter School	208.50	\$ 158,927	12,315	462.75	12,777.75	18,880	67.68%	\$ 137,387	\$ 92,982	\$ 92,982	15,333	81.21%	\$ 111,578	\$ 111,578	SF of Lease
18	ABQ	D	Corrales International School	248.00	\$ 189,036	16,015	522.00	16,537.00	23,418	70.62%	\$ 378,480	\$ 267,270	\$ 189,036	19,844	84.74%	\$ 320,724	\$ 189,036	MEM
19	ABQ	D	Cottonwood Classical Preparatory School	771.50	\$ 588,068	28,600	1,307.25	29,907.25	47,141	63.44%	\$ 879,622	\$ 558,051	\$ 558,051	35,889	76.13%	\$ 669,661	\$ 588,068	MEM
20	ABQ	D	Digital Arts and Technology Academy HS	311.00	\$ 237,057	31,714	616.50	32,330.50	50,436	64.10%	\$ 171,894	\$ 110,187	\$ 110,187	38,797	76.92%	\$ 132,225	\$ 132,225	SF of Lease
21	ABQ	D	East Mountain High School	375.50	\$ 286,221	28,963	713.25	29,676.25	43,784	67.78%	\$ 392,200	\$ 265,828	\$ 265,828	35,612	81.33%	\$ 318,994	\$ 286,221	MEM
22	ABQ	D	El Camino Real Academy	279.00	\$ 212,665	40,677	568.50	41,245.50	66,121	62.38%	\$ 702,649	\$ 438,304	\$ 212,665	49,495	74.85%	\$ 525,965	\$ 212,665	MEM
23	ABQ	S	Explore Academy -Masthead **	110.00	\$ 83,846	21,866	315.00	22,181.00	35,700	62.13%	\$ 822,910	\$ 511,288	\$ 83,846	26,617	74.56%	\$ 613,545	\$ 83,846	MEM
24	ABQ	S	Explore Academy - Gulton (NEW) **	611.00	\$ 465,729	31,319	1,066.50	32,385.50	81,290	39.84%	\$ 790,917	\$ 315,097	\$ 315,097	38,863	47.81%	\$ 378,117	\$ 378,117	SF of Lease
25	ABQ	D	Gilbert L. Sena Charter HS	129.50	\$ 98,710	8,976	344.25	9,320.25	14,110	66.05%	\$ 228,000	\$ 150,604	\$ 98,710	11,184	79.27%	\$ 180,724	\$ 98,710	MEM
26	ABQ	D	Gordon Bernell Charter School	191.50	\$ 145,969	3,290	437.25	3,727.10	5,950	62.64%	\$ 168,319	\$ 105,435	\$ 105,435	4,473	75.17%	\$ 126,522	\$ 126,522	SF of Lease
27	ABQ	D	Health Leadership High School	186.00	\$ 141,777	10,509	429.00	10,938.00	16,124	67.84%	\$ 232,320	\$ 157,598	\$ 141,777	13,126	81.40%	\$ 189,118	\$ 141,777	MEM
28	ABQ	S	Horizon Academy West	399.25	\$ 304,324	29,387	748.88	30,135.88	42,347	71.16%	\$ 478,800	\$ 340,734	\$ 304,324	36,163	85.40%	\$ 408,881	\$ 304,324	MEM
29	ABQ	D	La Academia de Esperanza	247.00	\$ 188,273	19,331	520.50	19,851.50	28,402	69.89%	\$ 212,224	\$ 148,333	\$ 148,333	23,822	83.87%	\$ 178,000	\$ 178,000	SF of Lease
30	ABQ	D	Los Puentes Charter School	131.00	\$ 99,853	14,434	346.50	14,780.50	21,173	69.81%	\$ 170,874	\$ 119,284	\$ 99,853	17,737	83.77%	\$ 143,141	\$ 99,853	MEM
31	ABQ	D	Mark Armijo Academy	185.50	\$ 141,396	5,897	428.25	6,325.25	9,715	65.11%	\$ 151,477	\$ 98,624	\$ 98,624	7,590	78.13%	\$ 118,349	\$ 118,349	SF of Lease
32	ABQ	S	Media Arts Collaborative Charter - Main Bldg.	191.50	\$ 145,969	6,842	437.25	7,279.25	12,208	59.63%	\$ 104,314	\$ 62,199	\$ 62,199	8,735	71.55%	\$ 74,639	\$ 145,969	MEM
33	ABQ	S	Media Arts Collaborative Charter - Nob Hill Studios	191.50		7,458	437.25	7,895.25	11,015	71.68%	\$ 101,233	\$ 72,561	\$ 72,561	9,474	86.01%	\$ 87,073		
34	ABQ	S	Mission Achievement and Success 2.0 - Old Coors Road	575.00	\$ 438,288	10,523	1,012.50	11,535.50	16,748	68.88%	\$ 499,476	\$ 344,023	\$ 344,023	13,843	82.65%	\$ 412,828	\$ 412,828	SF of Lease
35	ABQ	S	Mission Achievement and Success 1.0 - Yale	1136.50	\$ 866,286	44,818	1,854.75	46,672.75	70,548	66.16%	\$ 882,842	\$ 584,066	\$ 584,066	56,007	79.39%	\$ 700,879	\$ 700,879	SF of Lease
36	ABQ	D	Montessori of the Rio Grande	218.00	\$ 166,168	18,291	477.00	18,768.00	27,997	67.04%			\$ 166,168	22,522	80.44%		\$ 166,168	MEM
37	ABQ	D	Mountain Mahogany Community School	193.50	\$ 147,493	14,133	440.25	14,573.25	16,114	90.44%	\$ 105,996	\$ 95,861	\$ 95,861	17,488	108.53%	\$ 115,033	\$ 105,996	SF of Lease

FY22 Lease Assistance Program Detail Summary

MEM Rate: \$762.24 per MEM

20% Additional Square Footage Added for Tare

				MEM		Square Feet				Square Feet and Lease Calculations				Additional Square Footage Added for 20% Tare			FY22 Lease Assistance	
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S
	District	State / District	School	FY22 Number of MEM	Lease Assistance Calculation Based on MEM (\$762.24 per MEM)	Classroom Square Feet	Admin Square Feet	Total Square Feet Eligible for Lease Assistance (G+H)	Actual Total Building Square Feet	Percent of Lease Amount Eligible for Lease Assistance (I/J)	Actual Annual Lease Amount Paid by the School	Lease Assistance Calculation Based on Square Feet of Lease (K*L)	Lease Assistance without Tare (Lesser of Calculation Based on MEM or SF of Lease) (F or M)	Total Square Feet Eligible for Lease Assistance with Tare (G+H+20%)	Percent of Lease Amount Eligible for Lease Assistance with Tare (O/J)	Lease Assistance Calculation Based on Square Feet of Lease with 20% Added for Tare (L*P)	FY22 Lease Assistance Amount (Lesser of Calculation Based on MEM or SF of Lease with Tare) (F or Q)	FY22 Basis of Lease Assistance (MEM or SF of Lease)
38	ABQ	D	Native American Community Academy 1000 Indian School	298.50	\$ 227,529	23,296	597.75	23,893.75	38,178	62.59%	\$ 303,864	\$ 190,174	\$ 190,174	28,673	75.10%	\$ 228,208	\$ 227,529	MEM
39	ABQ	D	Native American Community Academy 1100 Indian School	298.50	\$ 227,529	2,634	597.75	3,231.75	4,463	72.41%	\$ 57,539	\$ 41,665	\$ 41,665	3,878	86.89%	\$ 49,998		
40	ABQ	D	Native American Community Academy CNM	199.00	\$ 151,686	23,500	448.50	23,948.50	37,647	63.61%	\$ 171,561	\$ 109,136	\$ 109,136	28,738	76.34%	\$ 130,963	\$ 130,963	SF of Lease
41	ABQ	D	New Mexico International School	381.50	\$ 290,795	36,049	722.25	36,771.25	66,076	55.65%	\$ 494,059	\$ 274,943	\$ 274,943	44,126	66.78%	\$ 329,932	\$ 290,795	MEM
42	ABQ	S	North Valley Academy - Art Space	437.50	\$ 333,480	2,600	806.25	3,406.25	3,200	106.45%	\$ 45,315	\$ 48,236	\$ 48,236	4,088	127.73%	\$ 57,883	\$ 333,480	MEM
43	ABQ	S	North Valley Academy - Main Campus	437.50		32,706	806.25	33,512.25	40,496	82.75%	\$ 413,690	\$ 342,347	\$ 333,480	40,215	99.31%	\$ 410,816		
44	ABQ	D	Public Academy for Performing Arts **	445.50	\$ 339,578	28,683	818.25	29,501.25	46,709	63.16%			\$ 339,578	35,402	75.79%		\$ 339,578	MEM
45	ABQ	S	Robert F. Kennedy Charter HS	245.00	\$ 186,749	42,430	517.50	42,947.50	63,173	67.98%			\$ 186,749	51,537	81.58%		\$ 186,749	MEM
46	ABQ	S	Robert F. Kennedy Charter MS	82.00	\$ 62,504	5,647	273.00	5,920.00	7,313	80.95%			\$ 62,504	7,104	97.14%		\$ 62,504	MEM
47	ABQ	D	Siembra Leadership HS ***	176.50	\$ 134,535	5,618	414.75	6,032.75	7,166	84.19%	\$ 124,917	\$ 105,162	\$ 105,162	7,239	101.02%	\$ 126,195	\$ 126,195	SF of Lease
48	ABQ	S	Solare Collegiate Charter School	187.50	\$ 142,920	10,599	431.25	11,030.25	20,934	52.69%	\$ 479,988	\$ 252,909	\$ 142,920	13,236	63.23%	\$ 303,490	\$ 142,920	MEM
49	ABQ	D	South Valley Academy	621.50	\$ 473,732	48,933	1,082.25	50,015.25	66,507	75.20%			\$ 473,732	60,018	90.24%		\$ 473,732	MEM
50	ABQ	S	Southwest Aeronautics, Mathematics & Science Academy	227.50	\$ 173,410	27,923	491.25	28,414.25	41,393	68.65%	\$ 229,549	\$ 157,574	\$ 157,574	34,097	82.37%	\$ 189,089	\$ 173,410	MEM
51	ABQ	S	Southwest Preparatory Learning Center	175.00	\$ 133,392	21,632	412.50	22,044.50	29,285	75.28%	\$ 138,000	\$ 103,881	\$ 103,881	26,453	90.33%	\$ 124,657	\$ 124,657	SF of Lease
52	ABQ	S	Southwest Secondary Learning Center	158.00	\$ 120,434	13,775	387.00	14,162.00	17,159	82.53%	\$ 431,676	\$ 356,280	\$ 120,434	16,994	99.04%	\$ 427,535	\$ 120,434	MEM
53	ABQ	D	Technology Leadership High School	297.00	\$ 226,385	6,938	595.50	7,533.50	12,000	62.78%	\$ 200,004	\$ 125,561	\$ 125,561	9,040	75.34%	\$ 150,673	\$ 150,673	SF of Lease
54	ABQ	S	The Albuquerque Sign Language Academy	111.00	\$ 84,609	5,904	316.50	6,220.50	9,701	64.12%			\$ 84,609	7,465	76.95%		\$ 84,609	MEM
55	ABQ	S	The GREAT Academy	121.50	\$ 92,612	6,171	332.25	6,503.25	15,033	43.26%	\$ 219,605	\$ 95,001	\$ 92,612	7,804	51.91%	\$ 114,001	\$ 92,612	MEM
56	ABQ	S	The Montessori Elementary School	431.00	\$ 328,525	19,565	796.50	20,361.50	33,924	60.02%	\$ 700,392	\$ 420,382	\$ 328,525	24,434	72.03%	\$ 504,458	\$ 328,525	MEM
57	ABQ	D	The New America School - NM	217.50	\$ 165,787	18,307	476.25	18,783.25	25,439	73.84%	\$ 365,378	\$ 269,782	\$ 165,787	22,540	88.60%	\$ 323,738	\$ 165,787	MEM
58	ABQ	S	Tierra Adentro of New Mexico ***	247.50	\$ 188,654	18,700	521.25	19,221.25	38,300	50.19%								
59	ABQ	S	21 st Century Public Academy	350.50	\$ 267,165	27,587	675.75	28,262.75	52,374	53.96%	\$ 795,462	\$ 429,258	\$ 267,165	33,915	64.76%	\$ 515,110	\$ 267,165	MEM
60	ABQ	D	Voz Collegiate Preparatory Charter School (NEW)	32.00	\$ 24,392	3,714	198.00	3,912.00	14,393	27.18%	\$ 149,342	\$ 40,591	\$ 24,392	4,694	32.62%	\$ 48,709	\$ 24,392	MEM
61	ABQ	D	William W. & Josephine Dorn Charter Community	38.50	\$ 29,346	3,076	207.75	3,283.75	5,770	56.91%	\$ 39,600	\$ 22,537	\$ 22,537	3,941	68.29%	\$ 27,044	\$ 27,044	SF of Lease
62	Aztec	D	Mosaic Academy Charter School (Gym)	180.00	\$ 137,203	10,000	420.00	10,420.00	10,420	100.00%	\$ 6,000	\$ 6,000	\$ 6,000	12,504	120.00%	\$ 7,200	\$ 6,000	SF of Lease
63	Aztec	D	Mosaic Academy Charter School (Portables)	180.00	\$ 137,203	6,680	420.00	7,100.00	7,520	94.41%	\$ 59,760	\$ 56,422	\$ 56,422	8,520	113.30%	\$ 67,707	\$ 59,760	SF of Lease
64	Carlsbad	D	Jefferson Montessori Academy	245.50	\$ 187,130	30,706	518.25	31,224.25	17,591	177.50%			\$ 187,130	37,469	213.00%		\$ 187,130	MEM
65	Cimarron	D	Moreno Valley High School	63.00	\$ 48,021	13,297	244.50	13,541.50	20,432	66.28%	\$ 57,000	\$ 37,777	\$ 37,777	16,250	79.53%	\$ 45,333	\$ 45,333	SF of Lease
66	Deming	D	Deming Cesar Chavez Charter High School	131.00	\$ 99,853	17,470	346.50	17,816.50	23,667	75.28%			\$ 99,853	21,380	90.34%		\$ 99,853	MEM
67	Espanola	S	La Tierra Montessori School of the Arts and Sciences	54.50	\$ 41,542	8,974	231.75	9,205.75	14,482	63.57%	\$ 72,000	\$ 45,768	\$ 41,542	11,047	76.28%	\$ 54,922	\$ 41,542	MEM
68	Espanola	S	McCurdy Charter School	527.00	\$ 401,700	43,755	940.50	44,695.50	73,617	60.71%	\$ 507,588	\$ 308,175	\$ 308,175	53,635	72.86%	\$ 369,810	\$ 369,810	SF of Lease
69	GMCS	S	Dzil Dit'l'ooi School of Empowerment, Action & Perseverance ***	45.00	\$ 34,301	1,986	217.50	2,203.50	2,880	76.51%	\$ 18,622	\$ 14,248	\$ 14,248	2,644	91.81%	\$ 17,097	\$ 17,097	SF of Lease
70	GMCS	S	Hozho Academy	405.00	\$ 308,707	29,410	757.50	30,167.50	59,837	50.42%	\$ 1,260,000	\$ 635,243	\$ 308,707	36,201	60.50%	\$ 762,292	\$ 308,707	MEM
71	GMCS	S	Middle College High School	140.00	\$ 106,714	4,258	360.00	4,618.00	5,301	87.12%	\$ 26,969	\$ 23,494	\$ 23,494	5,542	104.54%	\$ 28,193	\$ 26,969	SF of Lease
72	GMCS	S	Six Directions Indigenous School	76.00	\$ 57,930	11,099	264.00	11,363.00	14,931	76.10%	\$ 120,000	\$ 91,324	\$ 57,930	13,636	91.32%	\$ 109,589	\$ 57,930	MEM
73	Jemez V.	D	San Diego Riverside Charter School	81.50	\$ 62,123	11,323	272.25	11,595.25	16,586	69.91%	\$ 45,482	\$ 31,796	\$ 31,796	13,914	83.89%	\$ 38,156	\$ 38,156	SF of Lease
74	Jemez V.	S	Walatowa High Charter School	52.50	\$ 40,018	11,320	228.75	11,548.75	13,062	88.41%			\$ 40,018				\$ 40,018	MEM

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		State / District		FY22 Number of MEM	Lease Assistance Calculation Based on MEM (\$762.24 per MEM)	Classroom Square Feet	Admin Square Feet	Total Square Feet Eligible for Lease Assistance (G+H)	Actual Total Building Square Feet	Percent of Lease Amount Eligible for Lease Assistance (I/J)	Actual Annual Lease Amount Paid by the School	Lease Assistance Calculation Based on Square Feet of Lease (K*L)	Lease Assistance without Tare (Lesser of Calculation Based on MEM or SF of Lease) (F or M)	Total Square Feet Eligible for Lease Assistance with Tare (G+H+20%)	Percent of Lease Amount Eligible for Lease Assistance with Tare (O/J)	Lease Assistance Calculation Based on Square Feet of Lease with 20% Added for Tare (L*P)	FY22 Lease Assistance Amount (Lesser of Calculation Based on MEM or SF of Lease with Tare) (F or Q)	FY22 Basis of Lease Assistance (MEM or SF of Lease)
75	LC	S	Alma d'arte Charter HS	132.50	\$ 100,997	30,519	348.75	30,867.75	47,308	65.25%			\$ 100,997				\$ 100,997	MEM
76	LC	S	Explore Academy - Las Cruces (NEW)	110.00	\$ 83,846	11,392	315.00	11,707.00	20,250	57.81%	\$ 173,250	\$ 100,160	\$ 83,846	14,048	69.37%	\$ 120,192	\$ 83,846	MEM
77	LC	S	J. Paul Taylor Academy	200.00	\$ 152,448	16,570	450.00	17,020.00	23,017	73.95%			\$ 152,448				\$ 152,448	MEM
78	LC	S	La Academia Dolores Huerta	72.00	\$ 54,881	12,197	258.00	12,455.00	21,832	57.05%			\$ 54,881				\$ 54,881	MEM
79	LC	S	Las Montanas Charter High School	154.00	\$ 117,385	14,126	381.00	14,507.00	30,409	47.71%	\$ 307,836	\$ 146,857	\$ 117,385	17,408	57.25%	\$ 176,228	\$ 117,385	MEM
80	LC	S	Raices del Saber Xinachtli Com. School	63.00	\$ 48,021	6,391	244.50	6,635.50	8,245	80.48%	\$ 103,385	\$ 83,204	\$ 48,021	7,963	96.57%	\$ 99,844	\$ 48,021	MEM
81	LC	S	The New America School - Las Cruces	182.50	\$ 139,109	14,695	423.75	15,118.75	24,366	62.05%	\$ 297,075	\$ 184,330	\$ 139,109	18,143	74.46%	\$ 221,197	\$ 139,109	MEM
82	Los Lunas	S	School of Dreams Academy ***	468.50	\$ 357,109	23,352	852.75	24,204.75	31,504	76.83%	\$ 687,774	\$ 528,422	\$ 357,109	29,046	92.20%	\$ 634,106	\$ 357,109	MEM
83	Moriarty	S	Estancia Valley Classical Academy	590.00	\$ 449,722	40,403	1,035.00	41,438.00	57,710	71.80%	\$ 954,212	\$ 685,161	\$ 449,722	49,726	86.16%	\$ 822,193	\$ 449,722	MEM
84	Questa	S	Red River Valley Charter	73.00	\$ 55,644	6,320	259.50	6,579.50	11,570	56.87%			\$ 55,644				\$ 55,644	MEM
85	Questa	S	Roots & Wings Community School	50.00	\$ 38,112	2,817	225.00	3,042.00	4,464	68.15%	\$ 42,739	\$ 29,124	\$ 29,124	3,650	81.77%	\$ 34,949	\$ 34,949	SF of Lease
86	RR	S	Sandoval Academy of Bilingual Education **	208.00	\$ 158,546	16,605	462.00	17,067.00	23,964	71.22%	\$ 235,500	\$ 167,722	\$ 158,546	20,480	85.46%	\$ 201,266	\$ 158,546	MEM
87	RR	S	The ASK Academy - Main	458.50	\$ 349,487	24,758	837.75	25,595.75	38,724	66.10%	\$ 551,352	\$ 364,432	\$ 349,487	30,715	79.32%	\$ 437,318	\$ 349,487	MEM
88	RR	S	The ASK Academy - 6th Grade Academy	100.00	\$ 76,224	4,128	300.00	4,428.00	5,622	78.76%	\$ 101,846	\$ 80,216	\$ 76,224	5,314	94.51%	\$ 96,259	\$ 76,224	MEM
89	Roswell	S	Early College High School ***	187.00	\$ 142,539	6,948	430.50	7,378.50	10,627	69.43%	\$ 164,180	\$ 113,993	\$ 113,993	8,854	83.32%	\$ 136,791	\$ 136,791	SF of Lease
90	Roswell	S	Sidney Gutierrez Middle School	66.00	\$ 50,308	13,269	249.00	13,518.00	20,185	66.97%	\$ 38,508	\$ 25,789	\$ 25,789	16,222	80.36%	\$ 30,947	\$ 30,947	SF of Lease
91	Roswell	S	Sidney Gutierrez - Elementary Component	130.00	\$ 99,091	7,265	345.00	7,610.00	11,520	66.06%	\$ 123,000	\$ 81,253	\$ 81,253	9,132	79.27%	\$ 97,503	\$ 97,503	SF of Lease
92	SF	S	Monte de Sol Charter School	360.00	\$ 274,406	23,357	690.00	24,047.00	31,661	75.95%	\$ 253,752	\$ 192,728	\$ 192,728	28,856	91.14%	\$ 231,274	\$ 231,274	SF of Lease
93	SF	S	New Mexico School for the Arts	281.00	\$ 214,189	37,954	571.50	38,525.50	69,306	55.59%	\$ 281,554	\$ 156,509	\$ 156,509	46,231	66.71%	\$ 187,811	\$ 187,811	SF of Lease
94	SF	D	The Academy for Technology & the Classics	378.00	\$ 288,127	28,793	717.00	29,510.00	47,900	61.61%	\$ 253,841	\$ 156,385	\$ 156,385	35,412	73.93%	\$ 187,662	\$ 187,662	SF of Lease
95	SF	S	The MASTERS Program	265.50	\$ 202,375	5,671	548.25	6,219.25	7,488	83.06%	\$ 117,363	\$ 97,478	\$ 97,478	7,463	99.67%	\$ 116,973	\$ 116,973	SF of Lease
96	SF	S	Tierra Encantada Charter High School	314.50	\$ 239,724	14,604	621.75	15,225.75	25,911	58.76%	\$ 270,000	\$ 158,657	\$ 158,657	18,271	70.51%	\$ 190,388	\$ 190,388	SF of Lease
97	SF	S	Turquoise Trail Charter School (ES)	457.00	\$ 348,344	46,411	835.50	47,246.50	75,731	62.39%			\$ 348,344				\$ 348,344	MEM
98	Silver	S	Aldo Leopold Charter HS	165.50	\$ 126,151	7,630	398.25	8,028.25	12,909	62.19%	\$ 120,000	\$ 74,629	\$ 74,629	9,634	74.63%	\$ 89,555	\$ 89,555	SF of Lease
99	Socorro	D	Cottonwood Valley Charter School	170.00	\$ 129,581	11,172	405.00	11,577.00	12,123	95.50%	\$ 121,275	\$ 115,813	\$ 115,813	13,892	114.60%	\$ 138,976	\$ 121,275	MEM
100	Taos	D	Anansi Charter School	189.50	\$ 144,444	13,082	434.25	13,516.25	17,808	75.90%	\$ 180,536	\$ 137,027	\$ 137,027	16,220	91.08%	\$ 164,432	\$ 144,444	MEM
101	Taos	S	Taos Academy Charter School	226.00	\$ 172,266	23,641	489.00	24,130.00	27,120	88.97%	\$ 180,536	\$ 160,632	\$ 160,632	28,956	106.77%	\$ 192,758	\$ 172,266	MEM
102	Taos	S	Taos Integrated School of the Arts	177.50	\$ 135,298	8,801	416.25	9,217.25	13,062	70.57%	\$ 199,320	\$ 140,651	\$ 135,298	11,061	84.68%	\$ 168,781	\$ 135,298	MEM
103	Taos	S	Taos International Charter School	189.00	\$ 144,063	16,031	433.50	16,464.50	24,416	67.43%	\$ 291,564	\$ 196,611	\$ 144,063	19,757	80.92%	\$ 235,933	\$ 144,063	MEM
104	Taos	D	Taos Municipal Charter School	216.00	\$ 164,644	6,923	474.00	7,397.00	9,973	74.17%	\$ 142,100	\$ 105,396	\$ 105,396	8,876	89.00%	\$ 126,475	\$ 126,475	SF of Lease
105	Taos	D	Vista Grande High School	77.00	\$ 58,692	6,237	265.50	6,502.50	11,906	54.62%			\$ 58,692				\$ 58,692	MEM
106	WLV	D	Rio Gallinas School ES/MS	67.00	\$ 51,070	13,034	250.50	13,284.50	17,899	74.22%	\$ 40,000	\$ 29,688	\$ 29,688	15,941	89.06%	\$ 35,625	\$ 35,625	SF of Lease

FY22 Total Lease Assistance																\$17,689,559		
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Notes:
* If a charter has two sites used by all students, then the charter may use the entire 80/120 MEM count for both sites, but in no case shall the lease assistance to any school exceed the calculated per MEM amount for the school. If a charter has two sites that are utilized by separate groups of students, the 80/120 MEM count will be divided, according to usage, between the two sites.
** School has completed application to allow for calculated lease assistance for award, but school needs to submit required documents before payments can be issued.
*** School has not submitted all required documents or information, and is not ready for an award.

- I. **PSCOC Meeting Date:** November 8, 2021
- II. **Item Title:** Recertification of SSTBs
- III. **Name of Presenter:** Randy C. Evans, CFO
- IV. **Potential Motion:**

Adopt the Resolution, Notification, Certification and Resolution of unexpended bond proceeds as follows:

- SSTB19SB 0001 in the amount of \$267,552 to PSCOC awarded projects totaling \$267,552.

V. **Executive Summary:**

Attached is the Resolution, Notification and Certification Amendment for:

SSTB19SB-0001: Exhibit A to the Resolution, Notification and Certification is amended per the attached SSTB19SB-0001 Re-certification Reconciliation worksheet as follows:

Description	Amount
Hobbs – Hobbs HS	\$267,552

SSTB19SB-0001 remaining unexpended proceeds is \$3,975,552 per the attached worksheet.

STATE OF NEW MEXICO
Public School Capital Outlay Council

RESOLUTION, NOTIFICATION AND CERTIFICATION

WHEREAS, money from the proceeds of severance tax bonds and supplemental severance tax bonds (“Bonds”) authorized pursuant to Sections 7-27-12.2 NMSA 1978 (the “Act”), is needed for the purpose of carrying out the provisions of the Public School Capital Outlay Act;

WHEREAS, the State Secretary of Public Education has certified that proceeds from the sale of the Bonds is necessary to make the distributions in the current fiscal year pursuant to Section 22-25-9 NMSA 1978 for the purpose of carrying out the provisions of the Public School Capital Improvements Act;

WHEREAS, money from the proceeds of the sale of the Bonds authorized in the Act is needed to make awards and expenditures pursuant to Section 22-24-4 & 22-24-5 NMSA 1978 for capital project grant assistance, lease payment assistance and related uses pursuant to the Public School Capital Outlay Act and;

WHEREAS, at its meeting on **November 8, 2021**, the Council adopted the resolution and certification set forth below:

NOW, THEREFORE, BE IT RESOLVED AND CERTIFIED THAT:

1. The Council certifies that **two hundred sixty-seven thousand five hundred and fifty-two dollars (\$267,552)** from the proceeds of Severance Tax Note SSTB19SB 0001 are no longer needed for the projects for which they were originally issued.
2. Original certification is amended per the attached SSTB19SB 0001 Reconciliation worksheet as follows: To certify that **two hundred sixty-seven thousand five hundred and fifty-two dollars (\$267,552)** proceeds of Supplemental Severance Tax Note Series SSTB19SB (the “SSTB19SB 0001”), shall be reauthorized for the projects listed below.

a) Hobbs – Hobbs HS

\$267,552

Three million nine hundred seventy-five thousand nine hundred fifty-five dollars (\$3,975,955) remain unexpended on SSTB19SB for future capital projects.

Dated: November 8, 2021

PUBLIC SCHOOL CAPITAL OUTLAY
COUNCIL

By: _____
Joe Guillen, Chair PSCOC

SSTB19SB 0001 Reconciliation Worksheet

A91 - SSTB19SB 0001

line #	A-Code	Description	Original Certification	Actual Budget (SHARE)	Pending Budget (SHARE)
1		2019-20 Pre-Kindergarten Classroom Facilities	5,000,000	-	
2		2019-20 Standards-Based/Systems Based Awards	5,000,000	-	
3		2019-20 PSFA Operating Budget	4,688,000	4,688,000	
4		2019-20 Lease Assistance	3,800,000	-	
5	A91S20002	S20a Gallup HS	-	2,650,525	
6	A91S20003	S20a Clovis HS	-	54,638	
7	A91S20004	S20a Gallup Crownpoint MS	-	1,450,160	
8	A91S20005	S20a San Jon Combined School	-	166,299	
9	A91S20006	S20a Gallup Tse Yi Gai HS	-	421,336	
10	A91S20007	S20a Hobbs HS	-	29,728	267,552
11	A91S20008	S20a PortalesBrown ECC	-	2,997,513	
12	A91S20009	S20a Las Cruces Valley View ES	-	764,008	
13	A91S20010	S20a Hobbs Mills ES	-	334,286	
Subtotals			18,488,000	13,556,493	267,552

SSTB18SD Proceeds	17,800,000
Less: Actual Budget (SHARE)	(13,556,493)
Less: Pending Budget (SHARE)	(267,552)
SSTB18SD Proceeds Remaining	<u>3,975,955</u>

I. PSCOC Meeting Date: November 8, 2021

II. Item Title: 2022-2023 Preliminary Ranking*

III. Name of Presenter: Martica Casias, Interim Director

IV. Potential Motion:

Approval to release the 2022-2023 Preliminary wNMCI Ranking based on criteria and weightings previously adopted by the Council. Release of the ranking is subject to necessary technical corrections. Districts are encouraged to work with PSFA staff to resolve any outstanding technical corrections to the data, with the ability to make a formal appeal to the PSCOC by the December 8, 2021 deadline.

V. Executive Summary:

Background:

Per NMAC 6.27.8, the Public School Facilities Authority (PSFA) must produce the data to determine the condition index rating (wNMCI - weighted New Mexico Condition Index) annually. The PSCOC releases a Preliminary Ranking to school districts prior to the release of the Final Ranking to give school districts the opportunity to review their ranked position and provide input. The Ranking is used to determine which school have the greatest educational and facility deficiencies (needs) for the purposes of capital funding.

Summary:

The 2022-2023 Preliminary wNMCI Ranking is produced with input from PSFA's Assessors, Districts and Facility Master Plan Vendors.

General Notes:

- 2022-2023 Preliminary wNMCI Ranking average wNMCI is 23.38%;
- 2022-2023 Preliminary wNMCI Ranking contains enrollment from 2020-2021 40th day;
- Total APS schools within Top 100 – 41;
- Total APS schools within Top 300 – 87;
- Total number of schools entering the Top 100 – 18; most schools enter into the top 100 for the following reasons;
 - Facility aging
 - Assessment by PSFA Assessors
 - Assessment by Facility Master Plan Vendors

- School district self-reporting conditions
- Two schools that may not stay in the top 100 of the Preliminary Ranking due to assessments occurring between Preliminary and Final Ranking are the following:
 - West Las Vegas – WLV Middle School ;
 - State Chartered – Mission Achievement and Success Charter School 2.0 – 542002 is currently ranked number one, a site assessment has been scheduled to confirm current educational adequacy deficiencies (meaning insufficient classroom space) and verify the campus layout.

Staff Recommendation:

Approval to release the 2022-2023 Preliminary wNMCI Rankings based on criteria and weightings previously adopted by the Council.

Rank	District	School Name	Gross Area (Sq. Ft.)	wNMCI
11-12-60	Espanola	Velarde ES	23,628	50.47%
14-15-10	Zuni	Zuni MS	77,852	41.99%
15-16-17	Espanola	Abiquiu ES	24,562	51.54%
17-18-30	Las Vegas City	Los Ninos	55,221	35.04%
18-19-3	Roswell	Mesa MS	69,790	71.85%
18-19-5	Gallup McKinley	Rocky View ES	51,897	69.42%
18-19-6	Belen	Jaramillo ES	55,341	67.65%
18-19-7	Alamogordo	Holloman ES	68,872	64.45%
18-19-23	Tularosa	Tularosa MS (Systems)	53,751	50.44%
18-19-27	Gallup McKinley	Red Rock ES	60,638	49.31%
18-19-28	Gallup McKinley	Tohatchi HS	125,277	49.27%
18-19-36	Las Vegas City	Sierra Vista ES	42,484	46.85%
18-19-38	Los Lunas	Peralta ES	48,555	46.18%
18-19-39	Roswell	Nancy Lopez ES	32,462	45.78%
18-19-51	Las Cruces	Desert Hills ES	77,128	43.36%
18-19-67	Gallup McKinley	Thoreau ES	48,006	99.83%
18-19-79	Los Lunas	Los Lunas MS	98,306	40.77%
18-19-82	Socorro	Raymond Sarracino MS (Systems)	96,202	40.48%
18-19-102	Alamogordo	Buena Vista ES (Systems)	37,522	38.51%
18-19-118	Las Cruces	Lynn MS (Systems)	114,342	37.32%
18-19-121	West Las Vegas	Tony Serna Jr. ES (Systems)	29,841	37.21%
18-19-134	Las Cruces	Rio Grande Preparatory Institute (Systems)	44,986	36.16%
18-19-167	Magdalena	Magdalena Combo (Systems)	133,441	33.87%
18-19-168	Belen	Dennis Chavez ES (Systems)	55,048	33.84%
18-19-173	Las Cruces	Vista MS (Systems)	106,953	33.51%
18-19-194	Las Cruces	Fairacres ES (Systems)	48,672	32.13%
18-19-223	Las Cruces	Picacho MS (Systems)	133,151	39.18%
18-19-231	Socorro	Socorro HS (Systems)	134,409	30.19%
18-19-237	Las Cruces	Mayfield HS (Systems)	367,206	29.94%
18-19-272	Las Cruces	Highland ES (Systems)	86,874	28.28%
18-19-291	Bernalillo	Bernalillo MS (Systems)	104,085	27.66%
18-19-295	Las Cruces	Hillrise ES (Systems)	56,996	27.54%
19-20-1	Alamogordo	Chaparral MS	140,476	78.51%
19-20-2	Central Consolidated	Newcomb ES	67,467	69.30%
19-20-3	Roswell	Mountain View MS	68,270	63.15%
19-20-5	Hobbs	Southern Heights ES	51,311	54.76%
19-20-6	Roswell	Roswell HS (Systems)	246,346	53.65%
19-20-7	Las Cruces	Columbia ES	84,312	53.54%
19-20-12	Roswell	Washington Avenue ES	41,992	51.58%
19-20-46	Des Moines	Des Moines Combo	70,404	42.98%
19-20-52	Grants Cibola	Bluewater ES	23,526	41.96%
19-20-72	Clovis	Barry ES	49,692	39.64%
19-20-210	San Jon	San Jon Combo (Systems)	83,568	29.72%
19-20-213	Gallup McKinley	Tse' Yi' Gai HS (Systems)	64,384	29.54%
19-20-215	Hobbs	Hobbs HS (Systems)	388,915	29.48%
19-20-239	Portales	Brown ES (Systems)	55,183	28.19%
19-20-246	Las Cruces	Valley View ES (Systems)	69,226	27.84%
19-20-266	Hobbs	Mills ES (Systems)	38,746	26.70%
20-21-1	Zuni	Twin Buttes HS	21,638	64.53%
20-21-6	Carrizozo	Carrizozo Combo	93,179	53.02%
20-21-20	Zuni	Zuni HS	116,226	47.99%
20-21-29	Gallup McKinley	Gallup HS (Systems)	259,312	46.29%
20-21-51	Hobbs	Heizer MS	87,148	41.94%
20-21-64	Las Cruces	Tombaugh ES (Systems)	78,092	40.97%
20-21-70	Gallup McKinley	Crownpoint HS	81,218	40.58%
20-21-96	Gallup McKinley	Navajo Pine HS	76,554	37.75%
20-21-100	Grants Cibola	Mesa View ES	55,574	37.47%
20-21-102	Clovis	Clovis HS (Systems)	344,119	37.11%
20-21-124	Gallup McKinley	Crownpoint MS (Systems)	54,678	35.46%
20-21-184	Las Cruces	Organ Mountain GS	283,606	32.78%
20-21-209	Gallup McKinley	Tohatchi MS (Systems)	46,598	30.01%
20-21-275	Hatch Valley	Hatch Valley MS (Systems)	69,106	26.24%
21-21-174	Gadsden	Chaparral MS	90,831	32.49%
21-22-6	Raton	Longfellow ES (Systems)	33,800	59.34%
21-22-17	Gadsden	Gadsden MS	153,091	48.16%
21-22-39	Mosquero	Mosquero Combo ES/HS	53,767	43.07%
21-22-78	Los Alamos	Chamisa ES	49,091	38.67%
21-22-87	Los Lunas	Ann Parish ES	59,576	37.58%
21-22-89	House	House Combo (Systems)	59,389	37.51%
21-22-94	Los Alamos	Pinon ES	45,894	37.09%
21-22-100	Portales	Portales HS (Systems)	193,550	36.85%
21-22-143	Floyd	Floyd Combo (Systems)	71,876	33.74%
21-22-152	Raton	Raton HS (Systems)	108,302	33.17%
21-22-199	T or C	Sierra ES (Systems)	25,462	30.66%
21-22-204	Raton	Raton Intermediate (Systems)	56,292	30.39%
21-22-276	Portales	James ES (Systems)	58,732	26.23%
21-22-285	Tularosa	Tularosa Intermediate (Systems)	40,858	25.89%
Schools with "XX-XX-XX" rankings are projects that have received an award through a previous standards or systems-based award. The rank is formatted by award year followed by the rank from that award cycle.				

Rank	District	School Name	Gross Area (Sq.Ft.)	wNMCI
PRELIMINARY Statewide Average wNMCI: 23.38%				
1	State Chartered Schools	Mission Achievement & Success 2.0 Charter School	16,748	139.74%
2	Gallup McKinley	Gallup School Alternative HS	35,312	122.44%
3	Alamogordo	High Rolls Mountain Park ES	12,613	90.42%
4	Alamogordo	Holloman MS	52,174	69.35%
5	Jemez Mountain	Gallina ES	23,044	69.19%
6	Clovis	I Academy at Lincoln Jackson	30,172	69.19%
7	State Chartered Schools	The Albuquerque Sign Language Academy Charter School	10,000	64.81%
8	Pojoaque Valley	Pojoaque MS	83,783	61.16%
9	Espanola	Chimayo ES	35,027	57.89%
10	Springer	Springer ES	40,307	55.32%
11	Albuquerque	Taft MS	162,336	53.03%
12	Pojoaque Valley	Sixth Grade Academy	15,048	51.27%
13	Central Consolidated	Tse'bit'ai MS	108,353	51.14%
14	Albuquerque	Arroyo Del Oso ES	48,142	51.00%
15	Albuquerque (District Charter)	The International School at Mesa del Sol Charter School	36,064	50.70%
16	Central Consolidated	Dream Dine	4,184	50.45%
17	Albuquerque	Eugene Field ES	54,897	50.34%
18	Animas	Animas MS/HS	76,538	49.16%
19	Albuquerque	John Adams MS	135,207	49.02%
20	West Las Vegas	West Las Vegas MS	59,868	48.07%
21	Gadsden	Santa Teresa MS	127,520	47.83%
22	Albuquerque	Garfield MS	88,645	47.71%
23	Artesia	Park Junior HS	127,921	47.06%
24	Albuquerque	Kennedy MS	103,679	46.78%
25	Albuquerque	Washington MS	97,408	46.35%
26	Albuquerque	Highland HS	387,785	46.24%
27	Albuquerque	Polk MS	94,912	46.07%
28	Santa Rosa	Santa Rosa ES	59,642	46.03%
29	Albuquerque	Longfellow ES	48,444	45.90%
30	Gallup McKinley	Thoreau HS	120,650	45.57%
31	Jemez Mountain	Coronado Combo MS / HS	90,399	45.29%
32	Las Cruces	Mesilla Valley Leadership Academy	6,144	45.26%
33	Albuquerque	Mission Avenue ES	62,893	45.08%
34	Albuquerque	Albuquerque HS	341,159	45.05%
35	Quemado	Datil ES	12,342	44.95%
36	Hondo Valley	Hondo Combo	61,440	44.71%
37	Albuquerque	Los Ranchos ES	58,243	44.69%
38	Grants Cibola	Laguna-Acoma Combo MS / HS	125,138	44.48%
39	Mountainair	Mountainair ES	48,351	44.30%
40	Albuquerque	Mary Ann Binford ES	87,978	44.17%
41	Mesa Vista	Mesa Vista Combo MS/HS	52,466	43.71%
42	Albuquerque	Monte Vista ES	59,817	43.14%
43	Albuquerque	Alamosa ES	78,012	43.13%
44	Albuquerque	La Mesa ES	85,468	42.89%
45	Carlsbad	Carlsbad Intermediate School at PR Leyva Campus	169,953	42.56%
46	Los Lunas	Raymond Gabaldon ES	52,300	42.30%
47	Albuquerque	Lavaland ES	66,414	42.28%
48	Albuquerque	S. Y. Jackson ES	57,042	42.14%
49	Albuquerque	Mark Twain ES	65,589	42.04%
50	Albuquerque	Emerson ES	76,682	41.96%
51	Espanola	Dixon ES	20,768	41.91%
52	State Chartered Schools	La Academia Dolores Huerta Charter School	22,025	41.81%
53	Lake Arthur	Lake Arthur Combo	89,414	41.79%
54	Melrose	Melrose Combo	113,523	41.78%
55	Albuquerque	Griegos ES	42,893	41.55%
56	Albuquerque	Alameda ES	45,810	41.43%
57	Albuquerque	Jackson MS	86,382	41.25%
58	Clayton	Clayton HS	103,878	41.12%
59	Albuquerque	Cleveland MS	108,149	40.99%
60	Albuquerque	School on Wheels Alternative School	14,616	40.96%
61	Albuquerque	Eldorado HS	340,989	40.96%
62	Farmington	Mesa Verde ES	54,633	40.95%
63	Albuquerque	Sandia HS	367,148	40.87%
64	Gadsden	Loma Linda ES	59,682	40.52%
65	Eunice	Caton MS	50,084	40.20%
66	Estancia	Estancia Combo ES	79,522	39.90%
67	Albuquerque	Valley HS	343,745	39.88%
68	Albuquerque	Adobe Acres ES	65,095	39.81%
69	Santa Rosa	Santa Rosa HS	99,268	39.66%
70	Las Cruces	East Picacho ES	64,728	39.60%
71	Albuquerque	San Antonito ES	56,317	39.54%
72	Albuquerque	Matheson Park ES	44,429	39.49%
73	Central Consolidated	Newcomb HS	132,311	39.47%
74	Alamogordo	Academy Del Sol Alternative HS	22,290	39.41%
75	Albuquerque	Edmund G. Ross ES	64,953	39.34%
76	Albuquerque	Dennis Chavez ES	83,161	39.33%
77	Albuquerque	Kirtland ES	54,734	39.16%
78	Albuquerque	Hodgin ES	76,597	39.05%
79	Espanola	Hernandez ES	30,983	39.00%
80	Grants Cibola	Seboyeta ES	17,580	38.97%
81	State Chartered Schools	The MASTERS Program Early College Charter School	7,488	38.94%
82	Las Vegas City	Mike Mateo Sena ES	18,242	38.91%

Rank	District	School Name	Gross Area (Sq.Ft.)	wNMCI
83	Silver	Sixth Street ES	41,300	38.81%
84	Albuquerque	Eisenhower MS	138,082	38.74%
85	Las Cruces	Mesilla ES	46,506	38.64%
86	Albuquerque	La Cueva HS	384,273	38.35%
87	Cobre	Cobre HS	155,209	38.30%
88	Animas	Animas ES	21,221	37.99%
89	Carlsbad	Carlsbad Enrichment Center	30,476	37.90%
90	Albuquerque	Petroglyph ES	79,636	37.80%
91	Albuquerque	Hayes MS	106,764	37.70%
92	Springer	Springer Combo MS / HS	54,847	37.66%
93	Albuquerque (District Charter)	El Camino Real Academy Charter School	66,122	37.56%
94	Albuquerque	Freedom HS	42,972	37.35%
95	Hobbs	Coronado ES	50,306	37.31%
96	Albuquerque	West Mesa HS	352,222	37.30%
97	Gallup McKinley	David Skeet ES	45,454	37.24%
98	Bloomfield	Central Primary School	93,491	36.95%
99	Bloomfield	Naaba Ani ES	84,713	36.76%
100	Silver	Jose Barrios ES	37,469	36.63%
101	Central Consolidated	Kirtland Central HS	208,301	36.46%
102	Albuquerque	Duranes ES	55,343	36.39%
103	Hobbs	Houston MS	113,618	36.28%
104	Cobre	Snell MS	80,029	36.27%
105	Taos	Arroyo del Norte ES	38,829	36.21%
106	Chama Valley	Chama ES/MS	42,244	36.01%
107	Albuquerque	Kit Carson ES	76,423	36.00%
108	Albuquerque	Governor Bent ES	62,944	35.82%
109	Alamogordo	Alamogordo HS	322,369	35.70%
110	Santa Fe	Capital HS	241,313	35.61%
111	Las Cruces	White Sands ES / MS	71,239	35.57%
112	Silver	Silver HS	193,219	35.50%
113	Taos	Taos HS	197,546	35.37%
114	Albuquerque	Sandia Base ES	56,995	35.35%
115	Carlsbad (District Charter)	Jefferson Montessori Academy	30,698	35.22%
116	Albuquerque	Tomasita ES	60,696	35.20%
117	Hobbs	Edison ES	34,738	35.16%
118	Gallup McKinley	Chee Dodge ES	54,319	35.15%
119	Bloomfield	Mesa Alta Junior HS	123,077	35.09%
120	Albuquerque	Jefferson MS	142,380	35.01%
121	Hobbs	Highland MS	105,890	34.93%
122	Artesia	Yucca ES	39,968	34.90%
123	Carlsbad	Monterrey ES	40,778	34.88%
124	Albuquerque	Lowell ES	53,671	34.87%
125	Maxwell	Maxwell Combo	56,189	34.84%
126	Albuquerque	Roosevelt MS	102,436	34.83%
127	Artesia	Roselawn ES	39,180	34.83%
128	Santa Fe	Desert Sage Academy	49,427	34.20%
129	Albuquerque	Hubert Humphrey ES	58,892	34.17%
130	Albuquerque	Van Buren MS	112,829	34.00%
131	Carlsbad	Dr. E.M. Smith Pre-school	17,419	33.85%
132	Las Cruces	Camino Real MS	115,184	33.74%
133	Albuquerque	Harrison MS	121,743	33.71%
134	Hobbs	Sanger ES	41,860	33.70%
135	Dexter	Dexter ES	80,345	33.68%
136	Central Consolidated	Newcomb MS	50,536	33.64%
137	Pojoaque Valley	Pablo Roybal ES	81,561	33.57%
138	Hobbs	Stone ES	51,186	33.55%
139	Farmington	Heights MS	89,368	33.46%
140	Jemez Valley (District Charter)	San Diego Riverside Charter School	17,178	33.45%
141	Albuquerque	Grant MS	124,261	33.41%
142	Las Cruces	Cesar Chavez ES	72,572	33.33%
143	Albuquerque	Armijo ES	60,109	33.30%
144	Albuquerque	East san Jose ES	67,812	33.27%
145	Albuquerque	Sierra Vista ES	72,633	33.25%
146	Deming	Chaparral ES	49,807	33.20%
147	Artesia	Penasco ES	13,598	33.10%
148	Albuquerque	La Luz ES	52,532	33.05%
149	Albuquerque	Lyndon B. Johnson MS	165,860	33.03%
150	Las Cruces	Zia MS	111,186	33.00%
151	Albuquerque (District Charter)	Public Academy for Performing Arts Charter School	46,711	32.99%
152	Albuquerque	Edward Gonzales ES	79,778	32.97%
153	Espanola	Carlos F. Vigil MS	133,434	32.90%
154	Tucumcari	Tucumcari MS	79,804	32.82%
155	Alamogordo	Sierra ES	46,136	32.78%
156	Penasco	Penasco HS	66,795	32.69%
157	Cimarron	Eagle Nest ES/MS	61,771	32.67%
158	Albuquerque	Barcelona ES	76,469	32.66%
159	Albuquerque	New Futures Alternative HS	45,258	32.59%
160	Alamogordo	Stepping Stone	17,060	32.57%
161	Cimarron	Cimarron HS	54,343	32.48%
162	West Las Vegas (District Charter)	Rio Gallinas Charter	16,849	32.43%
163	Silver	Cliff Combo ES / HS	70,722	32.35%
164	State Chartered Schools	Amy Biehl Charter High School	42,684	32.34%
165	Mora	Holman ES	21,783	32.32%

Rank	District	School Name	Gross Area (Sq.Ft.)	wNMCI
166	Mora	Mora Combo (Mora HS, ES, Lazaro Garcia ES, MS)	146,469	32.30%
167	Espanola	Espanola Valley HS	157,582	32.27%
168	Belen	Belen HS	293,494	32.26%
169	Hobbs	Taylor ES	41,784	32.26%
170	Farmington	Apache ES	88,971	32.16%
171	Clovis	Cameo ES	49,123	32.12%
172	Vaughn	Vaughn Combo ES / HS	64,301	32.05%
173	West Las Vegas	Union Street ES	14,824	32.04%
174	Albuquerque	Bandelier ES	82,704	31.95%
175	Los Alamos	Mountain ES	58,956	31.95%
176	Gadsden	La Union ES	55,725	31.89%
177	Albuquerque	Hoover MS	111,607	31.75%
178	Lovington	Taylor MS	96,980	31.74%
179	Las Cruces	Central ES	29,422	31.73%
180	Albuquerque	McCollum ES	69,973	31.67%
181	Albuquerque	Mitchell ES	56,493	31.65%
182	Jemez Valley	Jemez Valley HS	86,260	31.57%
183	Albuquerque	Carlos Rey ES	100,865	31.51%
184	Cobre	San Lorenzo ES	21,202	31.46%
185	State Chartered Schools	South Valley Preparatory Charter School	21,031	31.42%
186	Taos	Chrysalis Alternative HS	1,792	31.37%
187	Albuquerque	Seven Bar ES	86,629	31.26%
188	Alamogordo	North Elem ES	58,862	31.21%
189	Aztec (District Charter)	Mosaic Academy	9,216	31.19%
190	Hobbs	Jefferson ES	43,258	31.17%
191	Estancia	Estancia HS	109,594	31.16%
192	Lovington	Ben Alexander ES	54,998	31.03%
193	Grants Cibola	San Rafael ES	30,132	31.01%
194	Albuquerque	Cochiti ES	49,982	31.00%
195	Albuquerque (District Charter)	NM International Charter School	66,076	30.84%
196	Bernalillo	Algodones ES	27,640	30.79%
197	Rio Rancho	Eagle Ridge MS	132,346	30.67%
198	Dulce	Dulce MS	93,800	30.60%
199	Farmington	Bluffview ES	66,455	30.60%
200	Aztec	Lydia Rippey ES	73,608	30.57%
201	NM School for the Deaf	NMSD Albuquerque Preschool Campus	8,444	30.46%
202	Artesia	Hermosa ES	46,074	30.42%
203	Albuquerque	McKinley MS	101,091	30.18%
204	Grants Cibola	Mount Taylor ES	75,426	30.09%
205	Santa Fe	Wood-Gormley ES	50,069	30.04%
206	Farmington	Mesa View MS	102,821	30.04%
207	Lovington	Lovington HS	215,324	29.97%
208	Eunice	Eunice HS	153,211	29.94%
209	Capitan	Capitan ES	48,371	29.87%
210	Hobbs	Will Rogers ES	58,745	29.85%
211	Las Vegas City	Robertson HS	171,948	29.80%
212	Albuquerque	Sombra del Monte ES	58,672	29.70%
213	Gallup McKinley	John F. Kennedy MS	140,186	29.66%
214	Carlsbad	Early Childhood Education Center	50,752	29.62%
215	Albuquerque	Bellhaven ES	51,079	29.55%
216	Albuquerque	Bel-Air ES	60,968	29.55%
217	Las Cruces	Hermosa Heights ES	74,193	29.55%
218	Belen	Belen MS	126,793	29.54%
219	Albuquerque	Apache ES	86,346	29.31%
220	Albuquerque	Whittier ES	67,059	29.29%
221	Penasco	Penasco ES	53,505	29.22%
222	Gallup McKinley	Gallup MS	83,397	29.20%
223	Las Cruces	Sunrise ES	64,376	29.16%
224	Albuquerque	Pajarito ES	76,032	29.11%
225	Farmington	Ladera del Norte ES	61,239	29.07%
226	Albuquerque	Ernie Pyle MS	127,404	29.04%
227	Rio Rancho	Mountain View MS	128,762	29.04%
228	Capitan	Capitan Combo MS / HS	77,459	28.97%
229	Deming	Mimbres Valley Alternative High School	6,770	28.97%
230	Carlsbad	Hillcrest ES	39,996	28.95%
231	Carlsbad	Carlsbad Sixth Grade Academy At Alta Vista Campus	122,804	28.83%
232	Gallup McKinley	Stagecoach ES	63,286	28.77%
233	Questa	Questa Combo JH / HS	104,329	28.60%
234	Corona	Corona Combo	65,125	28.54%
235	Albuquerque	Chaparral ES	112,890	28.53%
236	Clayton	Alvis ES	33,360	28.53%
237	Taos	Taos MS	107,551	28.48%
238	Santa Fe	Santa Fe HS	374,067	28.35%
239	Las Cruces	MacArthur ES	49,896	28.33%
240	Elida	Elida ES	16,944	28.33%
241	Las Cruces	University Hills ES	66,479	28.29%
242	Clovis	Yucca MS	112,979	28.15%
243	Clovis	Marshall Junior HS	161,366	28.14%
244	Silver	Harrison H Schmitt ES	70,405	28.10%
245	Rio Rancho	Lincoln MS	136,695	27.99%
246	Tularosa	Tularosa ES	58,140	27.90%
247	State Chartered Schools	Cesar Chavez Community Charter School	26,988	27.87%
248	Hobbs	Booker T Washington ES	32,331	27.71%

Rank	District	School Name	Gross Area (Sq.Ft.)	wNMCI
249	Santa Fe	Acequia Madre ES	22,275	27.67%
250	Lordsburg	Dugan Tarango MS	44,320	27.64%
251	Rio Rancho	Martin Luther King JR ES	107,834	27.61%
252	Cobre	Hurley ES	35,050	27.60%
253	Las Cruces	Jornada ES	67,216	27.55%
254	Albuquerque (District Charter)	Digital Arts and Technology Academy Charter School	51,210	27.51%
255	Albuquerque	Onate ES	70,686	27.50%
256	Albuquerque	Montezuma ES	60,763	27.36%
257	Carlsbad	Sunset ES	39,598	27.34%
258	Albuquerque	Cibola HS	380,440	27.27%
259	Albuquerque	Chelwood ES	76,175	27.26%
260	Silver	La Plata MS	105,957	27.24%
261	Central Consolidated	Kirtland ES	94,041	27.21%
262	Jemez Valley	Jemez Valley ES	37,719	27.21%
263	Albuquerque	Manzano HS	407,310	27.21%
264	Santa Fe	Chaparral ES	57,492	27.18%
265	Artesia	Yeso ES	56,428	27.14%
266	Santa Fe	Kearny ES	77,014	27.14%
267	Lovington	Lea ES	52,782	27.12%
268	Aztec	Park Avenue ES	70,532	27.10%
269	Cimarron	Cimarron ES/MS	55,457	26.98%
270	Albuquerque	Jimmy Carter MS	173,286	26.77%
271	Albuquerque	Madison MS	111,398	26.75%
272	Hagerman	Hagerman Combo	142,676	26.65%
273	Aztec	McCoy Avenue ES	67,881	26.47%
274	Albuquerque	Corrales ES	63,508	26.43%
275	Santa Rosa	Rita Marquez / Anton Chico Combo	23,112	26.37%
276	Gallup McKinley	Chief Manuelito MS	112,070	26.17%
277	Clovis	Sandia ES	61,343	26.11%
278	Pecos	Pecos Combo MS / HS	135,679	26.07%
279	Clovis	Zia ES	57,004	26.06%
280	State Chartered Schools	Six Directions Indigenous Charter School	13,174	26.02%
281	West Las Vegas	Luis E. Armijo ES	42,893	25.92%
282	Albuquerque (District Charter)	Health Leadership Charter High School	16,124	25.90%
283	Wagon Mound	Wagon Mound Combo ES / HS	84,721	25.82%
284	Alamogordo	La Luz ES	46,229	25.81%
285	Farmington	Esperanza ES	75,494	25.81%
286	Las Cruces	Conlee ES	64,606	25.72%
287	State Chartered Schools	ACES Technical Charter School	20,339	25.68%
288	Clayton	Clayton Junior HS	36,508	25.60%
289	Albuquerque	Rio Grande HS	434,858	25.59%
290	Elida	Elida MS, HS	43,890	25.51%
291	State Chartered Schools	Mission Achievement & Success 1.0 Charter School	72,338	25.46%
292	State Chartered Schools	Alma d' Arte Charter High School	47,308	25.21%
293	Artesia	Zia Intermediate	112,458	25.20%
294	Rio Rancho	Enchanted Hills ES	96,931	25.19%
295	Central Consolidated	Shiprock HS	199,405	25.16%
296	Albuquerque	Alvarado ES	50,962	25.16%
297	Los Lunas	Century Alternative High	56,540	25.10%
298	Los Alamos	Barranca Mesa ES	71,000	25.05%
299	Farmington	Piedra Vista HS	249,819	25.04%
300	Albuquerque (District Charter)	Robert F. Kennedy Charter High School	75,266	25.01%
301	Gadsden	Sunland Park ES	57,584	25.01%
302	Albuquerque (District Charter)	Technology Leadership Charter HS	12,000	25.00%
303	Albuquerque	A. Montoya ES	67,804	24.99%
304	Los Alamos	Los Alamos HS	280,624	24.97%
305	Farmington	McCormick ES	69,145	24.95%
306	Cloudcroft	Cloudcroft ES/MS	60,414	24.91%
307	Ruidoso	Ruidoso HS	168,819	24.90%
308	Santa Fe	Francis X. Nava ES	37,072	24.82%
309	West Las Vegas	West Las Vegas Partnership	16,986	24.68%
310	Albuquerque	Double Eagle ES	33,554	24.68%
311	Questa	Alta Vista ES / INT Combo	61,813	24.58%
312	Taos	Ranchos de Taos ES	68,163	24.55%
313	State Chartered Schools	Aldo Leopold Charter	10,078	24.42%
314	Albuquerque	Hawthorne ES	69,678	24.42%
315	Dexter	Dexter HS	61,758	24.34%
316	Pojoaque Valley	Pojoaque HS	177,901	24.16%
317	Albuquerque	Career Enrichment	75,072	24.13%
318	Artesia	Artesia HS	292,801	24.10%
319	Albuquerque	Reginald Chavez ES	54,078	24.09%
320	Artesia	Central ES	33,341	24.06%
321	Roswell	Sierra MS	101,573	24.04%
322	Deming (District Charter)	Deming Cesar Chavez Charter High School	23,560	23.99%
323	Gadsden	Mesquite ES	62,095	23.94%
324	State Chartered Schools	Media Arts Collaborative Charter School	26,492	23.73%
325	Taos	Enos Garcia ES	111,738	23.66%
326	Las Cruces	Mesilla Park ES	57,240	23.65%
327	Las Cruces	Booker T. Washington ES	64,624	23.64%
328	Gadsden	Alta Vista Early College HS	16,160	23.61%
329	Albuquerque (District Charter)	Cottonwood Classical Preparatory School	47,242	23.51%
330	Hobbs	College Lane ES	54,088	23.42%
331	Las Cruces	Alameda ES	52,766	23.40%

Rank	District	School Name	Gross Area (Sq.Ft.)	wNMCI
332	Moriarty / Edgewood	Route 66 ES	69,460	23.37%
333	Las Cruces	Sierra MS	131,007	23.37%
334	Carlsbad	Carlsbad HS	348,984	23.37%
335	Espanola	James Rodriguez ES	66,162	23.34%
336	Albuquerque	Taylor MS	112,880	23.32%
337	Roswell	Roswell Early College High School	16,200	23.09%
338	State Chartered Schools	NM School for the Arts Charter School	72,668	23.08%
339	Bloomfield	Bloomfield HS	268,283	23.05%
340	Albuquerque	Desert Ridge MS	159,768	23.04%
341	Questa	Rio Costilla Southwest Learning Academy	23,002	22.98%
342	Albuquerque	Truman MS	168,003	22.91%
343	Gallup McKinley	Indian Hills ES	50,955	22.90%
344	Alamogordo	Mountain View MS	88,680	22.88%
345	Jemez Mountain	Lybrook ES/MS	28,822	22.87%
346	Texico	Texico Combo	162,898	22.79%
347	Albuquerque (District Charter)	Mountain Mahogany Community Charter School	14,323	22.75%
348	Bernalillo	Placitas ES	35,794	22.61%
349	Rio Rancho	Rio Rancho HS	381,584	22.49%
350	Roy	Roy Combo	57,903	22.45%
351	Albuquerque	Painted Sky ES	99,305	22.43%
352	Dora	Dora Combo ES / HS	104,869	22.42%
353	Moriarty / Edgewood	Moriarty HS	253,245	22.41%
354	Albuquerque	Los Padillas ES	52,962	22.40%
355	Bloomfield	Charlie Y. Brown HS	19,503	22.37%
356	Albuquerque (District Charter)	Cien Aguas International Charter School	72,978	22.26%
357	Lovington	Llano ES	67,072	22.21%
358	T or C	Truth or Consequences MS	66,679	22.18%
359	Gadsden	Gadsden HS	309,451	22.15%
360	Gadsden	Riverside ES	70,032	22.12%
361	Belen	Gil Sanchez ES	59,416	22.08%
362	Cuba	Cuba MS	37,325	22.07%
363	Lovington	Yarbro ES	72,254	22.00%
364	West Las Vegas	Valley Combo ES / HS	65,746	21.94%
365	Silver	G.W. Stout ES	66,092	21.83%
366	Albuquerque	Lew Wallace ES	37,090	21.83%
367	Albuquerque	James Monroe MS	161,713	21.80%
368	Cobre	Bayard ES	52,420	21.74%
369	Bloomfield	Blanco ES	46,876	21.72%
370	Las Cruces	Dona Ana ES	65,964	21.67%
371	Portales	Portales Junior High	99,761	21.65%
372	Tularosa	Tularosa HS	80,997	21.63%
373	Clovis	Los Ninos Intervention Center	12,820	21.62%
374	Clovis	Clovis Freshman Academy	109,741	21.54%
375	Albuquerque	Manzano Mesa ES	80,367	21.53%
376	Aztec	Aztec HS	228,241	21.44%
377	Rio Rancho	Vista Grande ES	101,877	21.37%
378	Rio Rancho	Ernest Stapleton ES	89,380	21.36%
379	Santa Fe	Engage Alternative HS	37,000	21.35%
380	Espanola	Los Ninos Kindergarten ES	24,557	21.26%
381	Lovington	Lovington 6th Grade Academy	112,706	21.16%
382	Espanola	San Juan ES	48,345	21.00%
383	Los Lunas	Los Lunas ES	65,612	20.98%
384	Los Lunas	Tome ES	66,067	20.95%
385	Dexter	Dexter HS	97,879	20.92%
386	Los Alamos	Topper Freshman Academy	31,150	20.91%
387	Penasco	Penasco MS	30,477	20.84%
388	Gadsden	Santa Teresa HS	246,932	20.75%
389	Rio Rancho	Puesta Del Sol ES	83,556	20.63%
390	Loving	Loving ES	47,788	20.63%
391	Farmington	Rocinante HS	26,876	20.62%
392	Jemez Valley	Jemez Valley MS	34,354	20.58%
393	Santa Fe	E. J. Martinez ES	47,873	20.48%
394	Farmington	San Juan Early College HS	8,402	20.47%
395	State Chartered Schools	Middle College Charter High School	5,302	20.41%
396	Los Lunas	Los Lunas Family School	2,688	20.39%
397	Rio Rancho	Colinas del Norte ES	97,284	20.33%
398	Albuquerque (District Charter)	East Mountain Charter High School	44,840	20.33%
399	Tatum	Tatum Jr./Sr. HS	100,297	20.26%
400	State Chartered Schools	School of Dreams Academy Charter School	31,056	20.25%
401	Gallup McKinley	Navajo ES	60,880	20.24%
402	Albuquerque	Chamiza ES	74,268	20.18%
403	Albuquerque	Navajo ES	83,684	20.13%
404	Albuquerque	Osuna ES	55,035	20.12%
405	Ruidoso	White Mountain ES	88,655	20.07%
406	Rio Rancho	V. Sue Cleveland HS	415,044	20.03%
407	Central Consolidated	Mesa ES	69,241	19.89%
408	Santa Fe	Edward Ortiz MS	112,658	19.80%
409	Roswell	Berrendo MS	103,861	19.79%
410	Farmington	McKinley ES	70,326	19.78%
411	Portales	Valencia ES	69,824	19.77%
412	Albuquerque	Douglas MacArthur ES	42,804	19.68%
413	Central Consolidated	Ojo Amarillo ES	77,104	19.66%
414	Bernalillo	Cochiti ES/MS	65,726	19.64%

Rank	District	School Name	Gross Area (Sq.Ft.)	wNMCI
415	Rio Rancho	Maggie Cordova ES	88,000	19.49%
416	Roswell	Sunset ES	41,736	19.49%
417	Las Vegas City	LVCS Early Childhood Center	17,850	19.45%
418	Albuquerque (District Charter)	Mark Armijo Academy	17,360	19.34%
419	Albuquerque (District Charter)	Los Puentes Charter School	21,174	19.13%
420	Central Consolidated	Eva B. Stokely ES	110,041	19.09%
421	Santa Fe	RM Sweeney	83,851	18.99%
422	Albuquerque	Wilson MS	102,130	18.97%
423	State Chartered Schools	Sandoval Academy of Bilingual Education Charter School	23,694	18.96%
424	Albuquerque (District Charter)	William and Josephine Dorn Community Charter School	13,888	18.93%
425	Gadsden	Santa Teresa ES	68,690	18.90%
426	State Chartered Schools	Walatowa Charter High School	15,564	18.83%
427	Socorro	Midway ES	22,946	18.82%
428	Santa Fe	Ramirez Thomas	76,716	18.81%
429	Pecos	Pecos ES	65,888	18.61%
430	State Chartered Schools	Explore Academy Charter School	197,135	18.60%
431	Roswell	University HS	57,382	18.58%
432	West Las Vegas	West Las Vegas HS	145,632	18.58%
433	Gallup McKinley	Ramah HS	61,252	18.56%
434	State Chartered Schools	Monte Del Sol Charter School	32,742	18.49%
435	Belen	La Merced ES	56,384	18.48%
436	Grady	Grady Combo	102,397	18.43%
437	Los Lunas	Katherine Gallegos ES	66,609	18.39%
438	Jal	Jal Jr./Sr. High	110,760	18.38%
439	Quemado	Quemado Combo ES / HS	68,808	18.35%
440	Tatum	Tatum ES	43,927	18.32%
441	Albuquerque	Inez ES	60,339	18.16%
442	Albuquerque	Zuni ES	50,719	18.15%
443	Clovis	Mesa ES	60,402	18.13%
444	Roswell	Monterrey ES	54,213	18.12%
445	Albuquerque (District Charter)	South Valley Academy Charter School	66,509	18.05%
446	Albuquerque	Atrisco ES	69,799	18.05%
447	Albuquerque	Collet Park ES	57,961	18.02%
448	Tucumcari	Tucumcari HS	118,289	18.01%
449	Grants Cibola	Grants HS	226,464	17.95%
450	Gallup McKinley	Tobe Turpen ES	50,322	17.94%
451	Albuquerque	Comanche ES	48,275	17.91%
452	Cuba	Cuba ES	41,143	17.83%
453	State Chartered Schools	Tierra Encantada Charter School	28,406	17.76%
454	Logan	Logan Combo	92,763	17.67%
455	Los Lunas	Valencia ES	56,011	17.66%
456	Albuquerque (District Charter)	Albuquerque Talent Development Secondary Charter School	16,224	17.65%
457	Albuquerque	Valle Vista ES	69,270	17.64%
458	Tucumcari	Tucumcari ES	112,160	17.63%
459	Rio Rancho	Rio Rancho MS	242,162	17.51%
460	Rio Rancho	Independence HS	28,900	17.45%
461	State Chartered Schools	Albuquerque Institute for Math and Science Charter School	28,020	17.45%
462	Deming	Memorial ES	43,552	17.45%
463	Albuquerque (District Charter)	Albuquerque Charter Academy	27,838	17.42%
464	Deming	Bell ES	33,088	17.41%
465	Albuquerque	Zia ES	68,717	17.28%
466	Chama Valley	Escalante MS/HS	63,730	17.23%
467	Gallup McKinley	Thoreau MS	54,442	17.22%
468	Central Consolidated	Nizhoni ES	71,281	17.20%
469	Albuquerque	Coronado ES	42,915	17.16%
470	Belen	La Promesa ES	57,290	17.15%
471	Hatch Valley	Rio Grande ES	34,161	17.13%
472	West Las Vegas	Don Cecilio Martinez ES	29,246	17.04%
473	Hatch Valley	Garfield ES	32,810	17.00%
474	Lovington	New Hope Alternative HS	10,752	16.93%
475	Las Cruces	Sonoma ES	91,556	16.93%
476	Bloomfield	Bloomfield Early Childhood Center	58,219	16.92%
477	Hobbs	Freshman School	127,074	16.91%
478	Lovington	Jefferson ES	60,956	16.90%
479	Albuquerque (District Charter)	The New America Charter School	25,440	16.88%
480	Farmington	Animas ES	56,588	16.87%
481	Cuba	Cuba HS	106,592	16.83%
482	Artesia	Grand Heights Early Childhood	59,680	16.79%
483	Los Lunas	Desert View ES	60,350	16.68%
484	Moriarty / Edgewood	Edgewood MS	104,966	16.67%
485	Albuquerque (District Charter)	Christine Duncan Community Charter School	33,732	16.66%
486	Central Consolidated	Central Career Prep	32,040	16.60%
487	State Chartered Schools	North Valley Academy Charter School	46,615	16.52%
488	State Chartered Schools	The Montessori Elementary Charter School - Middle School Campus	33,924	16.48%
489	Taos (District Charter)	Vista Grande Charter High School	11,906	16.48%
490	State Chartered Schools	Turquoise Trail Charter School	72,736	16.45%
491	Los Lunas	Valencia MS	104,470	16.31%
492	Gallup McKinley	Twin Lakes ES	43,290	16.26%
493	Moriarty / Edgewood	Moriarty ES	61,860	16.26%
494	State Chartered Schools	Southwest Preparatory Learning Center	43,272	16.24%
495	Rio Rancho	Rio Rancho ES	87,646	16.24%
496	Roswell	Goddard HS	240,776	16.22%
497	Albuquerque	John Baker ES	69,801	16.14%

Rank	District	School Name	Gross Area (Sq.Ft.)	wNMCI
498	State Chartered Schools	Southwest Secondary Learning Center	34,258	15.89%
499	Gadsden	Chaparral HS	262,449	15.88%
500	Central Consolidated	Kirtland MS	134,163	15.75%
501	Santa Fe	Mandela International Magnet School	28,720	15.68%
502	Roswell	Valley View ES	50,861	15.61%
503	Socorro	Parkview ES	87,721	15.50%
504	Moriarty / Edgewood	South Mountain ES	48,280	15.47%
505	Albuquerque (District Charter)	La Academia de Esperanza Charter School	28,402	15.45%
506	State Chartered Schools	La Tierra Montessori School of the Arts & Sciences	14,482	15.31%
507	Moriarty / Edgewood	Moriarty MS	72,842	15.30%
508	Lordsburg	R.V. Traylor ES	41,794	15.28%
509	Deming	Red Mountain MS	130,470	15.09%
510	Rio Rancho	Cielo Azul ES	91,160	14.93%
511	Albuquerque (District Charter)	Alice King Community Charter School	55,578	14.93%
512	State Chartered Schools	Roots and Wings Community Charter School	4,464	14.92%
513	Roswell	Pecos ES	56,466	14.83%
514	Dulce	Dulce ES	68,400	14.82%
515	Roswell (District Charter)	Sidney Gutierrez Charter School	31,706	14.76%
516	Deming	My Little School	12,029	14.64%
517	NM School for the Deaf	NMSD Santa Fe Campus	174,390	14.63%
518	Rio Rancho	Sandia Vista ES	87,164	14.62%
519	Santa Fe	Tesuque ES	26,385	14.51%
520	Gallup McKinley	Navajo MS	52,762	14.48%
521	Cobre	Central ES	60,116	14.48%
522	Santa Rosa	Santa Rosa MS	46,151	14.43%
523	Los Alamos	Los Alamos MS	96,486	14.40%
524	T or C	Hot Springs HS	145,459	14.36%
525	Albuquerque	Del Norte HS	263,451	14.27%
526	Albuquerque	North Star ES	79,411	14.19%
527	Gadsden	Desert Trails ES	74,766	14.19%
528	Dulce	Dulce HS	144,209	14.02%
529	Carlsbad	Carlsbad Early College HS	14,970	14.02%
530	Alamogordo	Yucca ES	47,894	13.97%
531	Loving	Loving HS	81,424	13.93%
532	Farmington	Country Club ES	58,802	13.87%
533	Aztec	Vista Nueva Alternative HS	15,868	13.86%
534	Loving	Loving MS	60,330	13.85%
535	State Chartered Schools	McCurdy Charter School	73,618	13.56%
536	Albuquerque (District Charter)	Corrales International Charter	23,418	13.52%
537	Portales	Lindsey Steiner ES	60,312	13.41%
538	Deming	Bataan ES	68,332	13.35%
539	Hatch Valley	Hatch Valley HS	163,759	13.34%
540	Albuquerque	Dolores Gonzales ES	62,840	13.27%
541	State Chartered Schools	Red River Valley Charter School	14,466	13.27%
542	State Chartered Schools	Southwest Aeronautics, Mathematics and Science Academy Charter School	42,388	13.22%
543	Santa Fe	Carlos Gilbert ES	52,442	13.17%
544	Las Cruces	Mesa MS	118,957	13.12%
545	Espanola	Tony E Quintana ES	41,087	12.89%
546	Santa Fe	Pinon ES	81,245	12.89%
547	Gadsden	Vado ES	61,200	12.88%
548	Lovington	Lovington Freshman Academy	26,025	12.86%
549	Gadsden	Sunrise ES	113,188	12.84%
550	T or C	Arrey ES	38,101	12.82%
551	Fort Sumner	Fort Sumner Combo	125,771	12.72%
552	Roswell	East Grand Plains ES	42,495	12.69%
553	Las Cruces	Monte Vista ES	82,292	12.66%
554	Albuquerque	Tierra Antigua ES	97,288	12.56%
555	State Chartered Schools	Hozho Academy Charter School	59,838	12.50%
556	Albuquerque (District Charter)	Native American Community Academy (Both Campuses)	81,738	12.46%
557	Socorro	San Antonio ES	20,420	12.32%
558	Belen	The Family Alternative School	9,798	12.28%
559	Albuquerque	Susie Rayos Marmon ES	102,871	12.24%
560	Gallup McKinley	Hiroshi Miyamura HS	204,210	12.22%
561	Gadsden	Anthony ES	83,805	12.21%
562	Farmington	Tibbetts MS	98,562	12.15%
563	Aztec	C.V. Koogler MS	129,645	12.06%
564	Albuquerque (District Charter)	Coral Community Charter School	18,880	11.84%
565	Los Lunas	Valencia HS	248,739	11.65%
566	Albuquerque	Volcano Vista HS	488,795	11.57%
567	Cloudcroft	Cloudcroft HS	80,733	11.52%
568	Clovis	La Casita ES	61,547	11.42%
569	State Chartered Schools	Twenty-First Century Public Academy	52,426	11.39%
570	Roswell	Military Heights ES	49,511	11.38%
571	Santa Fe	Salazar ES	56,488	11.38%
572	Grants Cibola	Milan ES	60,902	11.36%
573	Deming	Ruben S. Torres ES	70,638	11.30%
574	Gallup McKinley	Crownpoint ES	50,384	11.28%
575	Los Lunas	Bosque Farms ES	101,312	11.26%
576	Farmington	Hermosa MS	122,682	11.18%
577	Chama Valley	Tierra Amarilla ES	22,162	11.09%
578	Santa Fe	El Dorado Community School	135,338	11.08%
579	Bernalillo	Bernalillo HS	185,987	11.03%
580	Socorro	Zimmerly ES	39,088	10.95%

Rank	District	School Name	Gross Area (Sq.Ft.)	wNMCI
581	Albuquerque	Georgia O'Keeffe ES	91,843	10.94%
582	Belen	Central ES	51,962	10.82%
583	Hatch Valley	Hatch Valley ES	43,257	10.73%
584	Deming	Columbus ES	74,258	10.65%
585	Santa Fe	Gonzales Community School	85,019	10.63%
586	Santa Fe	Aspen Community School	119,382	10.63%
587	State Chartered Schools	The Great Academy Charter School	15,034	10.61%
588	Mesa Vista	El Rito ES	25,126	10.60%
589	Santa Fe	Cesar Chavez ES	71,440	10.59%
590	Gadsden	North Valley ES	61,080	10.47%
591	Pojoaque Valley	Pojoaque Intermediate	32,240	10.45%
592	Grants Cibola	Cubero ES	36,340	10.41%
593	Reserve	Reserve Combo ES / HS	57,484	10.40%
594	Clovis	Bella Vista ES	68,476	10.38%
595	Central Consolidated	Naschitti ES	27,134	10.24%
596	Gadsden	Berino ES	73,116	10.22%
597	Albuquerque	Ventana Ranch ES	94,272	10.10%
598	Grants Cibola	Los Alamos MS	70,482	10.07%
599	Ruidoso	Ruidoso MS	111,962	9.97%
600	State Chartered Schools	Las Montanas Charter School	27,054	9.97%
601	Lordsburg	Lordsburg HS	56,188	9.97%
602	State Chartered Schools	Horizon Academy West Charter School	46,762	9.97%
603	Taos (District Charter)	Anansi Charter School	18,790	9.95%
604	Santa Fe	Amy Biehl Community School	64,682	9.83%
605	Roswell	Missouri Ave ES	54,102	9.76%
606	Taos (District Charter)	Taos Municipal Charter School	32,110	9.70%
607	Albuquerque	Janet Kahn School for Integrated Arts	71,232	9.54%
608	Estancia	Estancia MS	29,151	9.50%
609	Albuquerque	Tony Hillerman MS	178,767	9.44%
610	Roswell	El Capitan ES	61,644	9.42%
611	Ruidoso	Sierra Vista Primary	68,559	9.40%
612	Bernalillo	Carroll ES	65,846	9.38%
613	Albuquerque	Rudolfo Anaya ES	95,832	9.14%
614	Los Lunas	Sundance ES	74,130	9.04%
615	Santa Fe	Atalaya ES	56,146	9.03%
616	Santa Fe (District Charter)	Academy for Technology and the Classics Charter School	45,652	8.79%
617	Gallup McKinley	Tohatchi ES	57,230	8.67%
618	Belen	Infinity Alternative HS	26,230	8.64%
619	Albuquerque	nex+Gen Academy HS	46,606	8.56%
620	Albuquerque	Helen Cordero Primary ES	81,955	8.55%
621	Los Alamos	Aspen ES	69,841	8.46%
622	Albuquerque	Sunset View ES	85,305	8.35%
623	Albuquerque	Atrisco Heritage Academy HS	451,371	8.26%
624	State Chartered Schools	Taos Academy Charter School	27,120	8.25%
625	Las Cruces	Loma Heights ES	68,718	8.20%
626	Gadsden	Chaparral ES	76,911	8.08%
627	NM School for the Blind	NMSBVI Albuquerque Preschool Campus	39,172	8.01%
628	Santa Fe	El Camino Real Academy	141,036	7.90%
629	T or C	Truth or Consequences ES	61,728	7.75%
630	Mountainair	Mountainair Jr./Sr. HS	85,970	7.68%
631	Albuquerque (District Charter)	Siembra Leadership Charter HS	7,572	7.49%
632	Albuquerque	Wherry ES	83,371	7.40%
633	Gadsden	Gadsden ES	61,510	7.38%
634	Zuni	Shiwi Ts' Ana ES	91,278	7.34%
635	Roswell	Parkview Early Literacy Center	50,070	7.33%
636	Roswell	Berrendo ES	57,559	7.30%
637	Clovis	W.D. Gattis	125,836	7.24%
638	Cimarron (District Charter)	Moreno Valley Charter High School	20,432	7.12%
639	Santa Fe	Nina Otero Community School	126,426	7.11%
640	Gadsden	Yucca Heights ES	68,750	6.97%
641	Las Cruces	Centennial HS	350,157	6.97%
642	Bernalillo	Bernalillo ES	65,480	6.95%
643	State Chartered Schools	Taos International School	24,416	6.82%
644	Gallup McKinley	Ramah ES	29,912	6.75%
645	Las Cruces	Arrowhead Park Early College High School	64,260	6.46%
646	Farmington	Farmington HS	360,662	6.46%
647	Albuquerque	College & Career Alternative HS	100,000	6.46%
648	State Chartered Schools	Albuquerque School of Excellence Charter School	88,738	6.44%
649	Farmington	Northeast ES	80,488	6.21%
650	State Chartered Schools	Albuquerque Bilingual Academy	34,826	6.16%
651	Carlsbad	Desert Willow ES	75,988	5.99%
652	Albuquerque (District Charter)	ACE Leadership Charter High School	24,982	5.91%
653	Albuquerque	Desert Willow Family Alternative School	39,554	5.85%
654	Espanola	Eutimio T. Salazar-ETS Fairview ES	56,822	5.76%
655	Eunice	Mettie Jordan ES	83,401	5.69%
656	Clovis	James Bickley ES	49,840	5.67%
657	Clovis	Lockwood ES	56,104	5.61%
658	Carlsbad	Ocotillo ES (2017)	75,988	5.60%
659	Hobbs	Broadmoor ES	56,262	5.56%
660	State Chartered Schools	The New America Charter School - Las Cruces Campus	24,330	5.53%
661	Las Cruces	Las Cruces HS	428,271	5.45%
662	Los Lunas	Los Lunas HS	300,855	5.36%
663	Albuquerque (District Charter)	Gilbert Sena Chartered HS	14,110	5.30%

Rank	District	School Name	Gross Area (Sq.Ft.)	wNMCI
664	Espanola	Alcalde ES	49,948	5.00%
665	Alamogordo	Desert Star ES	65,732	4.98%
666	Albuquerque (District Charter)	Montessori of the Rio Grande Charter School	27,998	4.98%
667	Central Consolidated	Judy Nelson ES	93,746	4.78%
668	Hobbs	Murray ES	68,262	4.69%
669	Gadsden	Desert View ES	72,280	4.63%
670	Gallup McKinley	Jefferson ES	61,766	4.63%
671	Mesa Vista	Ojo Caliente ES	24,974	4.54%
672	Socorro (District Charter)	Cottonwood Valley Charter School	19,542	4.52%
673	Gallup McKinley	Catherine A Miller ES	54,418	4.42%
674	State Chartered Schools	Dzith Dit Looi School of Empowerment	3,172	4.02%
675	Deming	Deming Intermediate School	64,452	3.90%
676	Albuquerque	Tres Volcanes Community Collaborative School	225,075	3.90%
677	Albuquerque	George I. Sánchez Collaborative Community K-8 School	239,146	3.84%
678	Deming	Deming HS	294,338	3.51%
679	Jal	Jal ES	67,514	3.40%
680	NM School for the Blind	NMSBVI Alamogordo Campus	170,335	3.36%
681	State Chartered Schools	The ASK Academy Charter School	37,818	3.15%
682	Las Cruces	Arrowhead Park Medical Academy	46,747	3.15%
683	Albuquerque	Mountain View ES	87,696	2.96%
684	Carlsbad	Cottonwood ES	89,030	2.37%
685	State Chartered Schools	J. Paul Taylor Academy Charter School	23,018	2.35%
686	Gadsden	Desert Pride Academy HS	62,846	2.24%
687	Albuquerque	Marie M. Hughes ES	82,431	2.11%
688	Clovis	Parkview ES 2018	63,272	1.73%
689	Alamogordo	Sunset Hills ES	62,686	1.72%
690	Las Vegas City	LVCS 7th & 8th Grade Academy	98,022	1.62%
691	State Chartered Schools	Taos Integrated School of the Arts	13,062	1.62%
692	Gallup McKinley	Lincoln ES	60,353	1.58%
693	Gallup McKinley	Del Norte ES	60,353	1.58%
694	Albuquerque	Coyote Willow Family School	25,607	1.58%
695	Santa Fe	Milargo MS	118,102	1.54%
696	Rio Rancho	Joe Harris ES	88,200	0.84%
697	State Chartered Schools	Estancia Valley Classical Academy Charter School	57,323	0.78%
698	State Chartered Schools	Tierra Adentro Charter School	38,296	0.25%
699	Clovis	Highland ES	43,546	0.17%
700	Belen	Rio Grande ES	49,968	0.17%
701	Bernalillo	Santo Domingo ES / MS	49,416	0.14%
702	Roswell	Del Norte ES	74,778	0.11%
Schools with "NRC" rankings are charter schools that have not reached their first renewal, followed by the expected date of renewal. As such, these schools are not measured against the New Mexico Educational Adequacy Standards. Upon PEC or District renewal of the charter, these schools will be measured, evaluated and prioritized in the above list and eligible for grants under the standards-based capital outlay process.				
NRC-2023	State Chartered Schools	Hozho Academy Charter School	59,838	12.50%
NRC-2024	State Chartered Schools	Altura Preparatory Charter School	21,696	21.97%
NRC-2024	State Chartered Schools	Albuquerque Collegiate Charter School	10,856	10.08%
NRC-2024	State Chartered Schools	Solare Collegiate Charter School	21,760	0.82%
NRC-2024	State Chartered Schools	Raices del Saber Xinachtli Charter School	6,738	16.50%
NRC-2025	State Chartered Schools	ACES Technical Charter School	20,339	25.68%
NRC-2026	State Chartered Schools	Explore Academy Charter School - Las Cruces	7,425	25.23%
NRC-2026	Albuquerque	Voz Collegiate Preparatory	17,403	17.44%

I. PSCOC Meeting Date: November 8, 2021

II. Item Title: Roots & Wings - Sale of PSCOC Portable

III. Name of Presenter: Randy Evans, CFO

IV. Potential Motion:

Approval to sell two portables for \$100 each to Roots and Wings Community School after receiving approval from the State Auditor's Office and the State Board of Finance.

V. Executive Summary:

Taos Municipal Schools has two portables that are the property of PSCOC located on Taos Middle School campus and are requesting that we dispose of these portables. The district is no longer using these portables for students. PSFA has received an offer from a charter school (Roots and Wings Community School) to purchase and transport the portable to their property.

- The typical life expectancy of a portable is 15 years.
- The current value of the two portables is \$15,548.94.
- When a school district no longer needs a PSCOC-owned portable, typically the portable is left on site until PSFA can find another user.
- PSCOC has no provision for storage of portables.

Per the Disposition of Capital Assets policy, the "PSCOC and designated AMS Subcommittee may determine method of disposal for portable classrooms to include selling price, donation or transfer of the asset(s). Selling price may be determined by fair market value, price negotiated by other state agencies, school districts or governmental entities or price determined by AMS Subcommittee and approved by PSCOC".

roots & wings COMMUNITY SCHOOL



July 21, 2021

William W. Sprick (Bill)
Senior Planning, Design and Facilities Specialist
Public School Facilities Authority
1312 Basehart Road, SE Suite 200
Albuquerque, NM 87106
Phone: 505-468-0282
E-mail: bsprick@nmopsfa.org

Dear Mr. Sprick,

Roots and Wings Community School (RWCS), a state-authorized charter school, is interested in purchasing the two double-wide modular classrooms with bathrooms currently located at Taos School District. The school is willing to pay \$100/ building, plus the cost of transporting them to our school property.

These buildings will be used to expand our campus to provide larger classroom spaces in our current facility as well as the modular to promote more social distancing. In addition, these buildings will provide breakout classroom spaces for our SpEd and Interventionist to work with small groups and 1:1 with students. We recently had our charter contract renewed which also include an increase in our enrollment cap for 10 additional students to help alleviate our waitlist.

Thank you for your time and consideration of our request. If you have any questions or need additional information please contact me directly at (575) 586-2076 or jorris@rwcs.org.

Sincerely,

Jon Orris

Jon Orris, Director
[School Calendar 2021-2022](#)

*Jon Orris, Director
Veronica Garcia, Office Manager*

35 La Lama Rd.
HC 81 Box 22, Questa, NM 87556
575-586-2076/fax 575-586-2087

State of New Mexico
Public School Capital Outlay Council

Chair:
Joe Guillen, NMSBA

Members:
Ashley Leach, DFA
David Abbey, LFC
David L. Robbins, PEC
Mariana Padilla, Governor's Office



Vice Chair:
Raúl Burciaga, LCS

Members:
Rachel S. Gudgel, LESC
Antonio Ortiz, PED
Clay Bailey, CID

Public School Facilities Authority
Jonathan Chamblin, Director
1312 Basehart Road, SE, Suite 200, Albuquerque, NM 87106
(505) 843-6272 (Phone); (505) 843-9681 (Fax)
Website: www.nmpsfa.org

October 8, 2021

New Mexico Office of the State Auditor
2540 Camino Edward Ortiz, Suite A
Santa Fe, NM 87507

Dear State Auditor Colon,

We are requesting your approval per NMSA 13-6-2 Sale of Public Property to offer for sale two portables that are owned by Public School Capital Outlay Council currently located at Taos Middle School. The portables that we are requesting to sell are as follows:

NMD014	Comark	Double	1	2004		Taos Municipal Schools	Taos MS	305 Don Fernando	Taos
NMD015	Comark	Double	1	2004		Taos Municipal Schools	Taos MS	305 Don Fernando	Taos

PSFA has given the Surplus Property Bureau of the Transportation Services Division of the General Services Department the right of first refusal and they have declined.

Upon your approval we will request approval from the Public School Capital Outlay Council at its November sub-committee and regular council meetings. If you have any questions or concerns with our request, please feel free to contact me at (505) 919-9624 or (505) 468-0309.

Sincerely,

Randy Evans

Digitally signed by Randy Evans
DN: cn=Randy Evans, o=Public
School Facilities Authority, ou=PSFA,
email=revans@nmpsfa.org, c=US
Date: 2021.10.08 15:44:47 -06'00'

Randall C. Evans, Chief Financial Officer
Public School Facilities Authority

**State of New Mexico
Public School Capital Outlay Council**

Chair:
Joe Guillen, NMSBA

Members:
Ashley Leach, DFA
David Abbey, LFC
David L. Robbins, PEC
Mariana Padilla, Governor's Office



Vice Chair:
Raúl Burciaga, LCS

Members:
Dr. Vanessa Hawker, LESC
Antonio Ortiz, PED
Clay Bailey, CID

**Public School Facilities Authority
Martica Casias, Interim Director**
1312 Basehart Road, SE, Suite 200, Albuquerque, NM 87106
(505) 843-6272 (Phone); (505) 843-9681 (Fax)
Website: www.nmpsfa.org

November 3, 2021

New Mexico State Board of Finance
181 Bataan Memorial Building
Santa Fe, NM 87501

Dear NM State Board of Finance,

We are requesting your approval per NMSA 22-24-4.c and per NMSA 13-6-2 Sale of Public Property to offer for sale two portables that are owned by Public School Capital Outlay Council currently located at Taos Middle School. The portables that we are requesting to sell are as follows:

NMD014	Comark	Double	1	2004	Taos Municipal Schools	Taos MS	305 Don Fernando	Taos
NMD015	Comark	Double	1	2004	Taos Municipal Schools	Taos MS	305 Don Fernando	Taos

PSFA has given the Surplus Property Bureau of the Transportation Services Division of the General Services Department the right of first refusal and they have declined.

Roots and Wings Community School, a charter school located in Taos, has offered \$100 for each portable and has agreed to relocate them to their site at their cost. The portables were put into service at Taos Municipal Schools in August 2004 and are no longer needed by Taos for their kindergarten program. PSFA does not have a site to store these portables nor chooses to expend funds to relocate the portables.

We will request approval from the Public School Capital Outlay Council at its November regular council meeting and the final sale will be subject to Board of Finance approval. If you have any questions or concerns with our request, please feel free to contact me at (505) 919-9624 or (505) 468-0309.

Sincerely,

Randy Evans

Digitally signed by Randy Evans
DN: cn=Randy Evans, o=Public
School Facilities Authority, ou=PSFA,
email=revans@nmpsfa.org, c=US
Date: 2021.11.03 14:53:58 -06'00'

Randall C. Evans, Chief Financial Officer
Public School Facilities Authority

I. **PSCOC Meeting Date:** November 8, 2021

II. **Item Title:** De-certification and Recertification of of Security Funds

III. **Name of Presenter:** Randy C. Evans, CFO

IV. **Potential Motion:**

Adopt the Resolution, Notification, Certification and Resolution of unexpended bond proceeds as follows:

- SSTB18SB 0004 in the amount of up to \$10,224,560 to PSCOC awarded projects totaling up to \$10,224,560.

V. **Executive Summary:**

Attached is the Resolution, Notification and Certification Amendment for:

SSTB18SB 0004: Exhibit A to the Resolution, Notification and Certification is amended per the attached SSTB18SB 0004 Re-certification Reconciliation worksheet as follows:

Description	Amount
Re-authorization of 2018 Security Project Awards	\$10,224,560

SSTB18SB 0004 has zero unexpended proceeds per the attached worksheet.

STATE OF NEW MEXICO
Public School Capital Outlay Council

RESOLUTION, NOTIFICATION AND CERTIFICATION

WHEREAS, money from the proceeds of severance tax bonds and supplemental severance tax bonds (“Bonds”) authorized pursuant to Sections 7-27-12.2 NMSA 1978 (the “Act”), is needed for the purpose of carrying out the provisions of the Public School Capital Outlay Act;

WHEREAS, the State Secretary of Public Education has certified that proceeds from the sale of the Bonds is necessary to make the distributions in the current fiscal year pursuant to Section 22-25-9 NMSA 1978 for the purpose of carrying out the provisions of the Public School Capital Improvements Act;

WHEREAS, money from the proceeds of the sale of the Bonds authorized in the Act is needed to make awards and expenditures pursuant to Section 22-24-4 & 22-24-5 NMSA 1978 for capital project grant assistance, lease payment assistance and related uses pursuant to the Public School Capital Outlay Act and;

WHEREAS, at its meeting on **November 8, 2021**, the Council adopted the resolution and certification set forth below:

NOW, THEREFORE, BE IT RESOLVED AND CERTIFIED THAT:

1. The Council certifies that **ten million two hundred twenty four thousand five hundred and sixty dollars (\$10,224,560)** from the proceeds of Supplemental Severance Tax Note SSTB18SB 0004”) are no longer needed for the projects for which they were issued.
2. Exhibit A to the Resolution, Notification and Certification dated April 12, 2019 is amended per the attached SSTB18SB 0004 Reconciliation worksheet as follows: **ten million two hundred twenty four thousand five hundred and sixty dollars (\$10,224,560)** constituting the unexpended balance of the bond proceeds shall be reauthorized for the following projects;
 - a. 2018 Security Projects (Emergency system awards) \$ 10,224,560
3. **Zero dollars (\$0)** remains unexpended.

Dated: **November 8, 2019**

PUBLIC SCHOOL CAPITAL OUTLAY
COUNCIL

By: _____
Joe Guillen, Chair PSCOC

SSTB18SB 0004 Reconciliation Worksheet

A81 - SSTB18SB 0004

line #	A-Code	Description	Original Certification	Actual Budget (SHARE)	Pending Budget (SHARE)
1		P14-020 NMSBVI - Sacramento Dormitory	2,064,970	-	
2		P15-006 Gallup - Thoreau ES	13,647,522	13,647,522	
3		P15-009 NMSBVI - Garrett Dormitory	742,350	-	
4		P19a Roswell - Mesa MS	1,502,842	1,158,868	
5		P19a Belen - Jaramillo ES	554,416	42,750	
6		P19a Alamogordo - Holloman ES	1,953,000	2,120,881	
7		P19a Los Alamos - Barranca Mesa ES	8,513,956	8,835,123	
8		P19a Gallup McKinley - Rocky View/Red Rock ES	1,771,470	60,000	
9		P19a Las Vegas - Sierra Vista ES	436,554	447,398	
10		P19a Los Lunas - Peralta ES	1,147,000	-	
11		P19a Roswell - Nancy Lopez ES	729,586	53,250	
12		P19a Las Cruces - Desert Hills ES	405,881	366,400	
13		P19a Zuni - Zuni MS	1,600,000	75,000	
14		P19a Gallup McKinley - Tohatchi HS	1,749,600	60,000	
15		C19-001 Grants - Grants High School	-	900,000	
16		S18-007 Farmington - Country Club ES	-	804,740	
17		S19a Clayton - Clayton HS	72,750	-	
18		S19a Tularosa - Tularosa MS	556,410	53,250	
19		S19a Melrose - Melrose Combined School	199,188	-	
20		S19a Clayton - Alvis ES	150,000	-	
21		S19a Los Lunas - Los Lunas MS	3,800,000	3,128,000	
22		S19a Socorro - Sarracino MS	1,065,223	54,000	
23		S19a Socorro - Sarracino MS	1,224,728	-	
24		S19a Alamogordo - Buena Vista ES	472,500	664,286	
25		S19a Las Cruces - Mesilla Valley Leadership Academy	366,300	249,600	
26		S19a Las Cruces - Lynn MS	1,584,000	2,718,886	
27		S19a West Las Vegas - Tony Serna Jr. ES	305,380	619,202	
28		S19a Las Cruces - Rio Grande Preparatory Institute	766,920	695,031	
29		S19a Magdalena - Magdalena Combined Schools	502,200	403,925	
30		S19a Belen - Dennis Chavez ES	1,945,152	1,457,542	
31		S19a Las Cruces - Vista MS	105,600	58,807	
32		S19a Las Cruces - Oñate HS	926,310	329,147	
33		S19a Las Cruces - Fairacres ES	138,600	314,515	
34		S19a Las Cruces - Camino Real MS	42,900	-	
35		S19a Las Cruces - Picacho MS	115,500	141,238	
36		S19a Socorro - Socorro HS	4,873,087	-	
37		S19a Las Cruces - Mayfield HS	306,900	245,368	
38		S19a Las Cruces - Highland ES	109,461	229,869	
39		S19a Bernalillo - Bernalillo MS	972,957	1,641,697	
40		S19a Central - Tse Bit Ai MS	2,093,573	-	
41		S19a Las Cruces - Hillrise ES	52,800	39,110	
42		S19a Deming - Chaparral ES	1,610,000	1,610,962	
43		S19a Alamogordo - Sacramento ES	441,000	700,000	
44		S19a Floyd - Floyd Combined School	258,690	426,097	
45		S19a NMSBVI - Site	410,807	-	
46		2018-19 Reserve for Contingency	1,000,000	-	
47		2018-19 CID Budget/Reimbursement	330,000	250,000	
48		2018-19 State Fire Marshal Budget/Reimbursement	170,000	80,000	

line #	A-Code	Description	Original Certification	Actual Budget (SHARE)	Pending Budget (SHARE)
49		2018-19 Facilities Master Plan	400,000	261,131	
50		2018-19 SB-9	17,787,006	18,194,160	
51		2018-19 Lease Assistance	12,000,000	15,797,873	
52		2018-19 Operating Budget	5,171,800	3,171,800	
53		School Security - 2018 Appropriation HB306	6,000,000	6,000,000	(224,560)
54		School Security - 2018 Appropriation SB239	4,000,000	10,000,000	(10,000,000)
55		Transportation Distribution - 2018 Appropriation	2,500,000	2,500,000	
56		Instructional Materials Fund - 2018 Appropriation	4,500,000	4,500,000	
57		S18-010 Los Alamos Mountain ES	-	441,814	
58		FY20 Construction Information Management System	-	203,753	
59		FY20 Facilities Information Management System	-	346,256	
60		P20a Alamogordo Chaparral ES	-	774,754	
61		FY22 Emergency system awards	-	-	10,224,560

Subtotals	116,146,889	106,874,005	-
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SSTB18SB Proceeds

Less: Actual Budget (SHARE)	106,874,000
Less: Pending Budget (SHARE)	(106,874,005)

Less: Pending Budget (SHARE)	-
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SSTB18SB Proceeds Remaining	(5)
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adjust for rounding of security awards	(5)
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SSTB18SB Proceeds Remaining	(0)
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STATE OF NEW MEXICO
Public School Capital Outlay Council

RESOLUTION, NOTIFICATION AND CERTIFICATION

WHEREAS, money from the proceeds of severance tax bonds and supplemental severance tax bonds (“Bonds”) authorized pursuant to Sections 7-27-12.2 NMSA 1978 (the “Act”), is needed for the purpose of carrying out the provisions of the Public School Capital Outlay Act;

WHEREAS, the State Secretary of Public Education has certified that proceeds from the sale of the Bonds is necessary to make the distributions in the current fiscal year pursuant to Section 22-25-9 NMSA 1978 for the purpose of carrying out the provisions of the Public School Capital Improvements Act;

WHEREAS, money from the proceeds of the sale of the Bonds authorized in the Act is needed to make awards and expenditures pursuant to Section 22-24-4 & 22-24-5 NMSA 1978 for capital project grant assistance, lease payment assistance and related uses pursuant to the Public School Capital Outlay Act and;

WHEREAS, at its meeting on **October 18, 2019**, the Council adopted the resolution and certification set forth below:

NOW, THEREFORE, BE IT RESOLVED AND CERTIFIED THAT:

1. The Council certifies that **one million one hundred forty four thousand five hundred twenty dollars (\$1,144,527)** from the proceeds of Supplemental Severance Tax Note SSTB18SB 0004 are no longer needed for the projects for which they were issued.
2. Exhibit A to the Resolution, Notification and Certification dated June 14, 2018 is amended per the attached SSTB18SB 0004 Reconciliation worksheet as follows: **one million one hundred forty four thousand five hundred twenty dollars (\$1,144,527)** constituting the unexpended balance of the bond proceeds shall be reauthorized for the following projects;

a. 2018-19 Facilities Master Plan	(\$ 138,869)
b. 2018-19 Lease Assistance	(\$ 41,367)
c. FY20 Construction Information Management System	\$ 203,753
d. FY20 Facilities Information Management System	\$ 346,256
e. P20a Alamogordo Chaparral ES	\$ 774,754
3. **Zero dollars (\$0)** remains unexpended.

Dated: **October 18, 2019**

PUBLIC SCHOOL CAPITAL OUTLAY
COUNCIL

By: 
Joe Guillen, Chair PSCOC

SSTB18SB 0004 Reconciliation Worksheet

A81 - SSTB18SB 0004

line #	A-Code	Description	Original Certification	Actual Budget (SHARE)	Pending Budget (SHARE)
1		P14-020 NMSBVI - Sacramento Dormitory	2,064,970	-	
2		P15-006 Gallup - Thoreau ES	13,647,522	13,647,522	
3		P15-009 NMSBVI - Garrett Dormitory	742,350	-	
4		P19a Roswell - Mesa MS	1,502,842	1,158,868	
5		P19a Belen - Jaramillo ES	554,416	42,750	
6		P19a Alamogordo - Holloman ES	1,953,000	2,120,881	
7		P19a Los Alamos - Barranca Mesa ES	8,513,956	8,835,123	
8		P19a Gallup McKinley - Rocky View/Red Rock ES	1,771,470	60,000	
9		P19a Las Vegas - Sierra Vista ES	436,554	447,398	
10		P19a Los Lunas - Peralta ES	1,147,000	-	
11		P19a Roswell - Nancy Lopez ES	729,586	53,250	
12		P19a Las Cruces - Desert Hills ES	405,881	366,400	
13		P19a Zuni - Zuni MS	1,600,000	75,000	
14		P19a Gallup McKinley - Tohatchi HS	1,749,600	60,000	
15		C19-001 Grants - Grants High School	-	900,000	
16		S18-007 Farmington - Country Club ES	-	804,740	
17		S19a Clayton - Clayton HS	72,750	-	
18		S19a Tularosa - Tularosa MS	556,410	53,250	
19		S19a Melrose - Melrose Combined School	199,188	-	
20		S19a Clayton - Alvis ES	150,000	-	
21		S19a Los Lunas - Los Lunas MS	3,800,000	3,128,000	
22		S19a Socorro - Sarracino MS	1,065,223	54,000	
23		S19a Socorro - Sarracino MS	1,224,728	-	
24		S19a Alamogordo - Buena Vista ES	472,500	664,286	
25		S19a Las Cruces - Mesilla Valley Leadership Academy	366,300	249,600	
26		S19a Las Cruces - Lynn MS	1,584,000	2,718,886	
27		S19a West Las Vegas - Tony Serna Jr. ES	305,380	619,202	
28		S19a Las Cruces - Rio Grande Preparatory Institute	766,920	695,031	
29		S19a Magdalena - Magdalena Combined Schools	502,200	403,925	
30		S19a Belen - Dennis Chavez ES	1,945,152	1,457,542	
31		S19a Las Cruces - Vista MS	105,600	58,807	
32		S19a Las Cruces - Oñate HS	926,310	329,147	
33		S19a Las Cruces - Fairacres ES	138,600	314,515	
34		S19a Las Cruces - Camino Real MS	42,900	-	
35		S19a Las Cruces - Picacho MS	115,500	141,238	
36		S19a Socorro - Socorro HS	4,873,087	-	
37		S19a Las Cruces - Mayfield HS	306,900	245,368	
38		S19a Las Cruces - Highland ES	109,461	229,869	
39		S19a Bernalillo - Bernalillo MS	972,957	1,641,697	
40		S19a Central - Tse Bit Ai MS	2,093,573	-	
41		S19a Las Cruces - Hillrise ES	52,800	39,110	
42		S19a Deming - Chaparral ES	1,610,000	1,610,962	
43		S19a Alamogordo - Sacramento ES	441,000	700,000	
44		S19a Floyd - Floyd Combined School	258,690	426,097	
45		S19a NMSBVI - Site	410,807	-	
46		2018-19 Reserve for Contingency	1,000,000	-	
47		2018-19 CID Budget/Reimbursement	330,000	250,000	
48		2018-19 State Fire Marshal Budget/Reimbursement	170,000	80,000	

line #	A-Code	Description	Original Certification	Actual Budget (SHARE)	Pending Budget (SHARE)
49		2018-19 Facilities Master Plan	400,000	400,000	(138,869)
50		2018-19 SB-9	17,787,006	18,194,160	
51		2018-19 Lease Assistance	12,000,000	15,839,240	(41,367)
52		2018-19 Operating Budget	5,171,800	3,171,800	
53		School Security - 2018 Appropriation HB306	6,000,000	6,000,000	
54		School Security - 2018 Appropriation SB239	4,000,000	10,000,000	
55		Transportation Distribution - 2018 Appropriation	2,500,000	2,500,000	
56		Instructional Materials Fund - 2018 Appropriation	4,500,000	4,500,000	
57		S18-010 Los Alamos Mountain ES	-	441,814	
58		FY20 Construction Information Management System	-	-	203,753
59		FY20 Facilities Information Management System	-	-	346,256
60		P20a Alamogordo Chaparral ES	-	-	774,754
Subtotals			116,146,889	105,729,478	1,144,527

SSTB18SB Proceeds

Less: Actual Budget (SHARE) 106,874,000
(105,729,478)

Less: Pending Budget (SHARE) (1,144,527)

SSTB18SB Proceeds Remaining (5)

adjust for rounding of security awards (5)

SSTB18SB Proceeds Remaining (0)

STATE OF NEW MEXICO
Public School Capital Outlay Council

RESOLUTION, NOTIFICATION AND CERTIFICATION

WHEREAS, money from the proceeds of severance tax bonds and supplemental severance tax bonds ("Bonds") authorized pursuant to Sections 7-27-12.2 NMSA 1978 (the "Act"), is needed for the purpose of carrying out the provisions of the Public School Capital Outlay Act;

WHEREAS, the State Secretary of Public Education has certified that proceeds from the sale of the Bonds is necessary to make the distributions in the current fiscal year pursuant to Section 22-25-9 NMSA 1978 for the purpose of carrying out the provisions of the Public School Capital Improvements Act;

WHEREAS, money from the proceeds of the sale of the Bonds authorized in the Act is needed to make awards and expenditures pursuant to Section 22-24-4 & 22-24-5 NMSA 1978 for capital project grant assistance, lease payment assistance and related uses pursuant to the Public School Capital Outlay Act and;

WHEREAS, at its meeting on **June 10, 2019**, the Council adopted the resolution and certification set forth below:

NOW, THEREFORE, BE IT RESOLVED AND CERTIFIED THAT:

1. The Council certifies that **five hundred twelve thousand nine hundred ninety four dollars (\$512,994)** from the proceeds of Supplemental Severance Tax Note SSTB18SB 0004") are no longer needed for the projects for which they were issued.
2. Exhibit A to the Resolution, Notification and Certification dated June 14, 2018 is amended per the attached SSTB18SB 0004 Reconciliation worksheet as follows: **five hundred twelve thousand nine hundred ninety four dollars (\$512,994)** constituting the unexpended balance of the bond proceeds shall be reauthorized for the following projects;
 - a. 2018-2019 Lease Assistance \$ 71,180
 - b. S18-010 Los Alamos – Mountain ES \$ 441,814
3. **One million one hundred forty four thousand five hundred seventeen dollars (\$1,144,517)** remains unexpended.

Dated: **June 10, 2019**

PUBLIC SCHOOL CAPITAL OUTLAY
COUNCIL

By: 
Joe Guillen, Chair PSCOC

SSTB18SB 0004 Reconciliation Worksheet

A81 - SSTB18SB 0004

line #	A-Code	Description	Original Certification	Actual Budget (SHARE)	Pending Budget (SHARE)
1		P14-020 NMSBVI - Sacramento Dormitory	2,064,970	-	
2		P15-006 Gallup - Thoreau ES	13,647,522	13,647,522	
3		P15-009 NMSBVI - Garrett Dormitory	742,350	-	
4		P19a Roswell - Mesa MS	1,502,842	1,158,868	
5		P19a Belen - Jaramillo ES	554,416	42,750	
6		P19a Alamogordo - Holloman ES	1,953,000	2,120,881	
7		P19a Los Alamos - Barranca Mesa ES	8,513,956	8,835,123	
8		P19a Gallup McKinley - Rocky View/Red Rock ES	1,771,470	60,000	
9		P19a Las Vegas - Sierra Vista ES	436,554	447,398	
10		P19a Los Lunas - Peralta ES	1,147,000	-	
11		P19a Roswell - Nancy Lopez ES	729,586	53,250	
12		P19a Las Cruces - Desert Hills ES	405,881	366,400	
13		P19a Zuni - Zuni MS	1,600,000	75,000	
14		P19a Gallup McKinley - Tohatchi HS	1,749,600	60,000	
15		C19-001 Grants - Grants High School	-	900,000	
16		S18-007 Farmington - Country Club ES	-	804,740	
17		S19a Clayton - Clayton HS	72,750	-	
18		S19a Tularosa - Tularosa MS	556,410	53,250	
19		S19a Melrose - Melrose Combined School	199,188	-	
20		S19a Clayton - Alvis ES	150,000	-	
21		S19a Los Lunas - Los Lunas MS	3,800,000	3,128,000	
22		S19a Socorro - Sarracino MS	1,065,223	54,000	
23		S19a Socorro - Sarracino MS	1,224,728	-	
24		S19a Alamogordo - Buena Vista ES	472,500	664,286	
25		S19a Las Cruces - Mesilla Valley Leadership Academy	366,300	249,600	
26		S19a Las Cruces - Lynn MS	1,584,000	2,718,886	
27		S19a West Las Vegas - Tony Serna Jr. ES	305,380	619,202	
28		S19a Las Cruces - Rio Grande Preparatory Institute	766,920	695,031	
29		S19a Magdalena - Magdalena Combined Schools	502,200	403,925	
30		S19a Belen - Dennis Chavez ES	1,945,152	1,457,542	
31		S19a Las Cruces - Vista MS	105,600	58,807	
32		S19a Las Cruces - Oñate HS	926,310	329,147	
33		S19a Las Cruces - Fairacres ES	138,600	314,515	
34		S19a Las Cruces - Camino Real MS	42,900	-	
35		S19a Las Cruces - Picacho MS	115,500	141,238	
36		S19a Socorro - Socorro HS	4,873,087	-	
37		S19a Las Cruces - Mayfield HS	306,900	245,368	
38		S19a Las Cruces - Highland ES	109,461	229,869	
39		S19a Bernalillo - Bernalillo MS	972,957	1,641,697	
40		S19a Central - Tse Bit Ai MS	2,093,573	-	
41		S19a Las Cruces - Hillrise ES	52,800	39,110	
42		S19a Deming - Chaparral ES	1,610,000	1,610,962	
43		S19a Alamogordo - Sacramento ES	441,000	700,000	
44		S19a Floyd - Floyd Combined School	258,690	426,097	
45		S19a NMSBVI - Site	410,807	-	
46		2018-19 Reserve for Contingency	1,000,000	-	
47		2018-19 CID Budget/Reimbursement	330,000	250,000	
48		2018-19 State Fire Marshal Budget/Reimbursement	170,000	80,000	

line #	A-Code	Description	Original Certification	Actual Budget (SHARE)	Pending Budget (SHARE)
49		2018-19 Facilities Master Plan	400,000	400,000	
50		2018-19 SB-9	17,787,006	18,194,160	
51		2018-19 Lease Assistance	12,000,000	15,768,060	71,180
52		2018-19 Operating Budget	5,171,800	3,171,800	
53		School Security - 2018 Appropriation HB306	6,000,000	6,000,000	
54		School Security - 2018 Appropriation SB239	4,000,000	10,000,000	
55		Transportation Distribution - 2018 Appropriation	2,500,000	2,500,000	
56		Instructional Materials Fund - 2018 Appropriation	4,500,000	4,500,000	
57		S18-010 Los Alamos Mountain ES	-	-	441,814
Subtotals			116,146,889	105,216,484	512,994

SSTB18SB Proceeds	106,874,000
Less: Actual Budget (SHARE)	(105,216,484)
Less: Pending Budget (SHARE)	(512,994)
SSTB18SB Proceeds Remaining	1,144,522
adjust for rounding of security awards	5
SSTB18SB Proceeds Remaining	1,144,517

STATE OF NEW MEXICO
Public School Capital Outlay Council

RESOLUTION, NOTIFICATION AND CERTIFICATION

WHEREAS, money from the proceeds of severance tax bonds and supplemental severance tax bonds ("Bonds") authorized pursuant to Sections 7-27-12.2 NMSA 1978 (the "Act"), is needed for the purpose of carrying out the provisions of the Public School Capital Outlay Act;

WHEREAS, the State Secretary of Public Education has certified that proceeds from the sale of the Bonds is necessary to make the distributions in the current fiscal year pursuant to Section 22-25-9 NMSA 1978 for the purpose of carrying out the provisions of the Public School Capital Improvements Act;

WHEREAS, money from the proceeds of the sale of the Bonds authorized in the Act is needed to make awards and expenditures pursuant to Section 22-24-4 & 22-24-5 NMSA 1978 for capital project grant assistance, lease payment assistance and related uses pursuant to the Public School Capital Outlay Act;

WHEREAS, money from the proceeds of the sale of the Bonds authorized in the Act is needed to meet the special and direct appropriations from the Public School Capital Outlay Fund to various entities that have been approved by the Council pursuant to Laws 2014, Chapters 28; and

WHEREAS, at its meeting on **June 14, 2018**, the Council adopted the resolution and certification set forth below:

NOW, THEREFORE, BE IT RESOLVED AND CERTIFIED THAT:

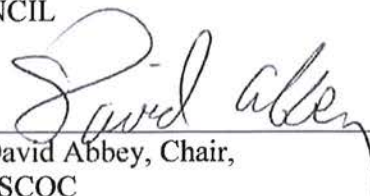
1. The Council certifies **sixty three million two hundred eighty eight thousand eighty three dollars (\$63,288,083)** is needed to finance public school capital outlay projects awards and other related expenditures pursuant to Section 22-24-4 NMSA 1978, The Public School Capital Outlay Act.
2. The Council certifies that **three hundred thirty thousand dollars (\$330,000)** pursuant to Section 22-24-4 NMSA 1978 the Public School Capital Outlay Act that proceeds from the Bonds are needed to finance permits and inspection of capital projects conducted by the Construction Industries Division of the Regulation and Licensing Department.
3. The Council certifies that **one hundred seventy thousand dollars (\$170,000)** pursuant to Section 22-24-4 NMSA 1978 the Public School Capital Outlay Act that proceeds from the Bonds are needed to finance permits and inspection of capital projects conducted by the State Fire Marshal's Office.
4. The Council certifies that **four hundred thousand dollars (\$400,000)** pursuant to Section 22-24-4 NMSA 1978 the Public School Capital Outlay Act that proceeds from the Bonds are needed to finance development and updating of five – year facility master plan awards.
5. The Council hereby certifies that the Secretary of Public Education has certified **seventeen million seven hundred eighty seven thousand and six dollars (\$17,787,006)** of proceeds from the supplemental severance tax bonds are necessary to make distributions pursuant to Section 22-25-9 NMSA 1978 for the purpose of carrying out the provisions of the Public School Capital Improvements Act. Balances that remain undistributed to school districts that have imposed a tax under the Public School Capital Improvements Act at the end of fiscal year 2018 shall revert to the public school capital outlay fund.

6. The Council hereby certifies that **twelve million dollars (\$12,000,000)** pursuant to the Public School Capital Outlay Act of proceeds from the Bonds are necessary to make awards pursuant to Section 22-24-4 NMSA 1978 for the purpose of charter school lease assistance.
7. The Council certifies **five million one hundred seventy one thousand eight hundred dollars (\$5,171,800)** pursuant to the Public School Capital Outlay Act that proceeds from the Bonds are needed pursuant to Section 22-24-4 NMSA 1978 for the purpose FY19 Operating Budget.
8. The Council certifies **six million dollars (\$6,000,000)** of proceeds from the Bonds are necessary for to plan, design and install school security systems and for repairs, renovations or replacement of school security systems statewide pursuant to Public Schools Capital Outlay Act, Laws 2014, House Bill 306, Section 46, line 24.
9. The Council certifies **four million dollars (\$4,000,000)** of proceeds from the Bonds are necessary for School Security System Project Grants pursuant to Public Schools Capital Outlay Act, Laws 2014, Senate Bill 239, Section 3, paragraph O, line 1.
10. The Council certifies **two million five hundred thousand dollars (\$2,500,000)** of proceeds from the Bonds are necessary to meet the appropriation contained in Laws 2018, 53rd Legislature, Second Session, Chapter 73, Section K and pursuant to Subsection N of Section 22-24-4 NMSA 1978, from the Public School Capital Outlay Fund to the transportation distribution fund for expenditure in fiscal year 2019 pursuant to the Transportation Distribution Law; provided that the secretary of public education certifies the need for the issuance of supplemental severance tax bonds to meet that appropriation.
11. The Council certifies **four million five hundred thousand dollars (\$4,500,000)** of proceeds from the Bonds are necessary to meet the appropriation contained in Laws 2018, 53rd Legislature, Second Session, Chapter 73, Section K and pursuant to Subsection N of Section 22-24-4 NMSA 1978, from the Public School Capital Outlay Fund to the instructional material fund for expenditure in fiscal year 2019 pursuant to the Instructional Material Law; provided that the secretary of public education certifies the need for the issuance of supplemental severance tax bonds to meet that appropriation.
12. The Council certifies **three million dollars (\$3,000,000)** of proceeds from the Bonds are necessary for Technology Infrastructure pursuant to Public Schools Capital Outlay Act, Laws 2014, Senate Bill 159, Chapter 28, Section M, line 5.
13. The Board is hereby requested and instructed to issue and sell Bonds in the total amount of **one hundred nineteen million one hundred four six thousand eight hundred eighty nine dollars (\$119,146,889)** for the purposes set forth in Paragraphs 1 through 12.
14. All conditions, contingencies and limitations imposed by law with respect to the certification of the need for the Bonds to finance the projects and the expenditure of funds with respect hereto, if any, have been satisfied.

Dated: June 14, 2018

PUBLIC SCHOOL CAPITAL OUTLAY
COUNCIL

By:


David Abbey, Chair,
PSCOC

SSTB/STB FY18 Spring Certification Worksheet

June 14, 2018

FY18 SSTB/STB Capacity Estimate: **106,800,000**

Certification Needs (lines #1 through #55): **119,146,889** SSTB/STB FY18 Spring Certification - Includes potential award by the Council for FY
(12,346,889)

line #	SSTB/STB Series	Description	Certify	Notes
1		P14-020 NMSBVI - Sacramento Dormitory	2,064,970	Per Financial Plan estimate (5/22/2018)
2		P15-006 Gallup - Thoreau ES	13,647,522	Per Financial Plan estimate (5/22/2018)
3		P15-009 NMSBVI - Garrett Dormitory	742,350	Per Financial Plan estimate (5/22/2018)
4		P19a Roswell - Mesa MS	1,502,842	Pre-application amounts; Financial Plan estimate (5/22/18)
5		P19a Belen - Jaramillo ES	554,416	Pre-application amounts; Financial Plan estimate (5/22/18)
6		P19a Alamogordo - Holloman ES	1,953,000	Pre-application amounts; Financial Plan estimate (5/22/18)
7		P19a Los Alamos - Barranca Mesa ES	8,513,956	Pre-application amounts; Financial Plan estimate (5/22/18)
8		P19a Gallup McKinley - Red Rock ES	1,771,470	Pre-application amounts; Financial Plan estimate (5/22/18)
9		P19a Las Vegas - Sierra Vista ES	436,554	Pre-application amounts; Financial Plan estimate (5/22/18)
10		P19a Los Lunas - Peralta ES	1,147,000	Pre-application amounts; Financial Plan estimate (5/22/18)
11		P19a Roswell - Nancy Lopez ES	729,586	Pre-application amounts; Financial Plan estimate (5/22/18)
12		P19a Las Cruces - Desert Hills ES	405,881	Pre-application amounts; Financial Plan estimate (5/22/18)
13		P19a Zuni - Zuni MS	1,600,000	Pre-application amounts; Financial Plan estimate (5/22/18)
14		P19a Gallup McKinley - Tohatchi HS	1,749,600	Pre-application amounts; Financial Plan estimate (5/22/18)
15		S19a Clayton - Clayton HS	72,750	Pre-application amounts; Financial Plan estimate (5/22/18)
16		S19a Tularosa - Tularosa MS	556,410	Pre-application amounts; Financial Plan estimate (5/22/18)
17		S19a Melrose - Melrose Combined School	199,188	Pre-application amounts; Financial Plan estimate (5/22/18)
18		S19a Clayton - Alvis ES	150,000	Pre-application amounts; Financial Plan estimate (5/22/18)
19		S19a Los Lunas - Los Lunas MS	3,800,000	Pre-application amounts; Financial Plan estimate (5/22/18)
20		S19a Socorro - Sarrancino MS	1,065,223	Pre-application amounts; Financial Plan estimate (5/22/18)
21		S19a Socorro - Sarrancino MS	1,224,728	Pre-application amounts; Financial Plan estimate (5/22/18)
22		S19a Alamogordo - Buena Vista ES	472,500	Pre-application amounts; Financial Plan estimate (5/22/18)
23		S19a Las Cruces - Mesilla Valley Leadership Academy	366,300	Pre-application amounts; Financial Plan estimate (5/22/18)
24		S19a Las Cruces - Lynn MS	1,584,000	Pre-application amounts; Financial Plan estimate (5/22/18)
25		S19a West Las Vegas - Tony Serna Jr. ES	305,380	Pre-application amounts; Financial Plan estimate (5/22/18)
26		S19a Las Cruces - Rio Grande Preparatory Institute	766,920	Pre-application amounts; Financial Plan estimate (5/22/18)
27		S19a Magdalena - Magdalena Combined Schools	502,200	Pre-application amounts; Financial Plan estimate (5/22/18)
28		S19a Belen - Dennis Chavez ES	1,945,152	Pre-application amounts; Financial Plan estimate (5/22/18)
29		S19a Las Cruces - Vista MS	105,600	Pre-application amounts; Financial Plan estimate (5/22/18)

line #	SSTB/STB Series	Description	Certify	Notes
30		S19a Las Cruces - Ofiate HS	926,310	Pre-application amounts; Financial Plan estimate (5/22/18)
31		S19a Las Cruces - Fairacres ES	138,600	Pre-application amounts; Financial Plan estimate (5/22/18)
32		S19a Las Cruces - Camino Real MS	42,900	Pre-application amounts; Financial Plan estimate (5/22/18)
33		S19a Las Cruces - Picacho MS	115,500	Pre-application amounts; Financial Plan estimate (5/22/18)
34		S19a Socorro - Socorro HS	4,873,087	Pre-application amounts; Financial Plan estimate (5/22/18)
35		S19a Las Cruces - Mayfield HS	306,900	Pre-application amounts; Financial Plan estimate (5/22/18)
36		S19a Las Cruces - Highland ES	109,461	Pre-application amounts; Financial Plan estimate (5/22/18)
37		S19a Bernalillo - Bernalillo MS	972,957	Pre-application amounts; Financial Plan estimate (5/22/18)
38		S19a Central - Tse Bit Ai MS	2,093,573	Pre-application amounts; Financial Plan estimate (5/22/18)
39		S19a Las Cruces - Hillrise ES	52,800	Pre-application amounts; Financial Plan estimate (5/22/18)
40		S19a Deming - Chaparral ES	1,610,000	Pre-application amounts; Financial Plan estimate (5/22/18)
41		S19a Alamogordo - Sacramento ES	441,000	Pre-application amounts; Financial Plan estimate (5/22/18)
42		S19a Floyd - Floyd Combined School	258,690	Pre-application amounts; Financial Plan estimate (5/22/18)
43		S19a NMSBVI - Site	410,807	Pre-application amounts; Financial Plan estimate (5/22/18)
44		2018-19 Reserve for Contingency	1,000,000	Per Financial Plan estimate (5/22/2018)
			63,288,083	
45		2018-19 CID Budget/Reimbursement	330,000	Per Financial Plan estimate (5/22/2018)
46		2018-19 State Fire Marshal Budget/Reimbursement	170,000	Per Financial Plan estimate (5/22/2018)
			500,000	
47		2018-19 Facilities Master Plan	400,000	Per Financial Plan estimate (5/22/2018)
			400,000	
48		2018-19 SB-9	17,787,006	Per Financial Plan estimate (5/22/2018)
			17,787,006	
49		2018-19 Lease Assistance	12,000,000	Per Financial Plan estimate (5/22/2018)
			12,000,000	
50		2018-19 Operating Budget	5,171,800	Per Financial Plan Estimate (5/22/2018) and OPBUD 2 Form
			5,171,800	
51		School Security - 2018 Appropriation	6,000,000	HB306, Section 46, line 24, page 144
52		School Security - 2018 Appropriation	4,000,000	SB239, Section 3, paragraph O, line 16, page 13
53		Transportation Distribution - 2018 Appropriation	2,500,000	HB2, Section K Public School Support, line 22, page 167
54		Instructional Materials Fund - 2018 Appropriation	4,500,000	HB2, Section K Public School Support, line 23, page 168
			17,000,000	
55		2018-19 IT Infrastructure Awards (BDGP)	3,000,000	SB159 Chapter 28 Public Schools Capital Outlay Act Section 2, Paragraph M, pg.11, line 5
			3,000,000	

V. Out-of-Cycle Funding/Award Language Requests

- A. P19-004 Gallup Tohatchi HS – Award Language Change*
- B. E18-001 Santa Rosa Anton Chico MS – Potential Emergency Awards*

* Denotes potential action by the PSCOC

I. PSCOC Meeting Date: November 8, 2021

II. Item Title: P19-004 Gallup Tohatchi HS –Change in Award Language

III. Name of Presenter(s): Martica Casias, Interim Director
Daniel Juarez, Senior Projects Coordinator

IV. Potential Motion:

Council approval to amend the current 2018-2019 Standards-based award language for Gallup-McKinley County Schools Tohatchi High School (P19-004) to include demolition funding for the Kitchen/Cafeteria building in lieu of funding for the renovation of this building. District shall be responsible for any work on the existing gym, which the district indicates will be used for community purposes. The existing gym will no longer be eligible for PSCOC funding and will be removed from the Facilities Assessment Database. PSCOC will participate in an educational gym as part of the new facility. No additional funding is needed at this time for the amended award language. Upon completion of the design phase, the district may return to the PSCOC for out-of-cycle funding for the construction phase of the project.

V. Executive Summary:

Background:

Tohatchi HS was originally awarded planning phase funding in September 2018 to complete a feasibility/utilization study for the campus. At the time of the original award, Tohatchi HS was ranked 28, with a wNMCI of 49.27%.

In July 2020, the 2018-2019 award language was amended to include design phase funding for Tohatchi HS with a design capacity of 300 students, grades 9-12 and a maximum gross square footage of 57,797.

In July 2021, the 2018-2019 award language was amended to include design phase funding for 8 teacher housing units.

In August 2021, Public School Facilities Authority (PSFA) received a letter from Gallup-McKinley County Schools (GMCS) requesting that the standards based award language be amended to include construction of a new Gym, Cafeteria and Kitchen. As well as the demolition of the existing a new Gym, Cafeteria and Kitchen.

In September 2021, PSFA received a letter from GMCS amending the August 2021 letter requesting that the award language be amended to include construction of a new Gym, Cafeteria and Kitchen and renovation of the existing Gym.

Enrollment:

The enrollment as of 2020-2021 for Tohatchi HS is 293.

PSCOC Award and Project History:

- Originally awarded in September 2018, the total estimated project cost for the planning phase was \$75,000.
 - Total state share (80%) for the planning phase funding was \$60,000, local share (20%) was \$15,000.
- July 2020: PSCOC approval of design phase funding and an award language change to include renovation of the gym and cafeteria, demolition of the vocational building, portables and replacement of the administration, general classrooms, specialty classrooms and support spaces, for a design enrollment of 300 students, with an approved square footage of up to 57,797 GSF. Funding for the design phase work for the project was \$3,134,965.
 - Total state share (80%) for the design phase funding was \$2,507,972, local share (20%) was \$626,993.
- July 2021: PSCOC approval of additional design funding and an award language change to include construction of 8 new teacher housing units.
 - Total state share (80%) for the planning phase funding was \$346,585, local share (20%) was \$86,646.
- Total project cost \$75,000 (Planning) + \$3,134,965 (Design) + \$433,232 (Teacher Housing) = \$3,643,197
 - Total project state share (80%) \$2,914,557, local share (20%) \$728,639.

Award History State - Local Share per Phase	Total	State Share	Local Share
		80%	20%
Planning Phase	\$ 75,000	\$ 60,000	\$ 15,000
Design Phase	\$ 3,134,965	\$ 2,507,972	\$ 626,993
Design Phase - Teacher Housing	\$ 433,232	\$ 346,585	\$ 86,646
Total Project Cost	\$ 3,643,197	\$ 2,914,557	\$ 728,639

Award Language History:

September 19, 2018: *Funding to complete feasibility/utilization study to determine options to maximize utilization of the current school facilities. Upon completion, district may return to the PSCOC for next out-of-cycle funding phase, approval of options and total student capacity to the GSF pursuant to the Adequacy Planning Guide, and update to the total project cost estimate.*

July 13, 2020: *Approval of design funding for Tohatchi High School, to include renovation of the gym and cafeteria, demolition of the vocational building, portables*

and replacement of the administration, general classrooms, specialty classrooms and support spaces, for a design enrollment of 300 students, with an approved square footage of up to 57,797 GSF for a total request of \$3,134,965 with a state share of \$2,507,972 (80%) and a local share of \$626,993 (20%).

July 12, 2021: *Approval to amend the 2018-2019 standards-based award to Gallup-McKinley County Schools Tohatchi High School (P19-004) for additional funding and an award language change to include funding for 8 teacher housing units, beginning with design phase funding up to \$433,232 for the teacher housing units, state share up to \$346,585 (80%) and district share up to \$86,646 (20%). Upon completion of the design phase, the district may return to the PSCOC for out-of-cycle funding for the construction phase of the project.*

Project Schedule: (tentative)

Planning Phase: Complete
 Design Phase: July 2021 – June 2022
 Construction Phase: June 2022 – December 2023

Current request:

Gallup-McKinley County Schools (GMCS) is requesting that the PSCOC amend the award language for in-process Tohatchi HS standards-based project to include demolition funding for the Kitchen/Cafeteria and Gym buildings in lieu of funding for the renovation of these buildings. The Tohatchi HS standards-based project is currently in the design phase.

Original Award - GSF Analysis	New	Renovate	Demolish
New Construction	21,359		0
Gym	0	25,096	0
Cafeteria/Kitchen	0	11,342	0
Classroom/Band/Vo-Ag Building	0	0	52,379
Admin/Library Building	0	0	34,667
Total GSF	21,359	36,438	87,046

Amended Award - GSF Analysis	New	Renovate	Demolish
New Construction	57,797	0	0
Gym - Not Eligible for PSCOC participation	0	25,096	0
Cafeteria/Kitchen	0	0	11,342
Classroom/Band/Vo-Ag Building	0	0	52,379
Admin/Library Building	0	0	34,667
Total GSF	57,797	25,096	98,388

Tohatchi HS - PSFA Analysis		
	Original Award	Amended Award
New \$/SF (MACC)	\$286.31	\$286.31
Total GSF	57,797	57,797
Total New Construction MACC	\$16,547,859	\$16,547,859
Reno \$/SF (MACC)	\$100	\$0
Total GSF Reno	36,438	0
Total Reno MACC	\$3,643,800	\$0
Estimated Site Costs MACC	\$500,000	\$500,000
Demo \$/SF (\$15-\$25)	\$15.00	\$15.00
Total GSF for demo	87,046	98,388
Total Demo MACC	\$1,305,690	\$1,475,820
Total Estimated MACC	\$21,997,349	\$18,523,679
Soft Costs (standard PSFA assumption)	\$9,427,435	\$7,938,720
Total Estimated Project Cost (School)	\$31,424,650	\$26,462,265

Gallup Tohatchi HS Teacher Housing - PSFA Analysis	
Teacher Housing \$/SF (MACC)	\$ 350.43
Total GSF for teacher housing	8,654
Total Teacher Housing MACC	\$ 3,032,621
Soft Costs (standard PSFA assumption)	\$ 1,299,695
Total Estimated Project Cost (Teacher Housing)	\$4,332,316

Estimated Tohatchi HS Replacement Costs by Phase and State - Local Share	Total	80%	20%
		State Share	Local Share
Design	\$ 3,134,965	\$ 2,507,972	\$ 626,993
Construction	\$ 28,214,685	\$ 22,571,748	\$ 5,642,937
Total Estimated Project Cost by Project Phase	\$ 31,349,650	\$ 25,079,720	\$ 6,269,930

Estimated Teacher Housing Costs by Phase and State - Local Share	Total	80%	20%
		State Share	Local Share
Design - Teacher Housing	\$ 433,232	\$ 346,585	\$ 86,646
Construction - Teacher Housing	\$ 3,899,084	\$ 3,119,268	\$ 779,817
Total Estimated Project Cost by Project Phase	\$ 4,332,316	\$ 3,465,853	\$ 866,463

Maintenance Performance:

September 20, 2021: The Gallup-McKinley County School District meets all statutory requirements including the following: The districts Preventive Maintenance Plan (annual update required; 6.27.3.11 NMAC) is current, last updated on October 23, 2020, with 2 years of historical updates, and rated Outstanding, exceeding statute requirements. One historical year of FIMS Proficiency Reports indicates the district is a Satisfactory to Good user of 2 of the 3 State provided FIMS maintenance resources and progressing with the 3rd module, Utility Direct. The district has progressed to the advanced FIMS modules. The district-wide PM Completion Rate currently reflects a 100% performance rating, (above the 90% recommendation). The districts Facility Maintenance Assessment Report (FMAR) average (F6) of 60.92% indicates the district is maintaining their assets to a Marginal level, currently below the state average of 72% and improving. Please note: the previous 5 FMARs in 2021 indicate a marked improvement from previous years reflecting an average rating of 76.55% indicating Satisfactory performance. They are progressing with performance and improving facility conditions on all levels. Staff recommends the district continue their diligence towards improved core maintenance to 80% (Good) ratings, continuing their use of the FIMS tools to drive district maintenance performance and responding to subsequent FMARs through the 60-day response process.

Staff Recommendation:

Amend the existing standards-based award language for Tohatchi HS to include demolition funding for the Kitchen/Cafeteria in lieu of funding for the renovation of this building. District shall be responsible for any work on the existing gym, which the district indicates will be used for community purposes. PSCOC will fund an educational gym as part of the new facility.

Staff analysis of the design phase award for 57,797 GSF for 300 students. It was estimated at the time of the award that the maximum allowable construction cost (MACC) would be \$16.5M or approximately \$286/SF. The \$31.4M estimated total project cost (TPC), \$16.5M MACC, and the \$286/SF were based on renovating 36,438 GSF at \$100/SF, demolishing 87,048 GSF at \$15/SF, \$500,000 in site costs and \$9.4M in soft costs.

The requested amendment to the award language would result in an estimated total project cost of \$26.5M and a MACC of 18.5M. The estimated \$26.5M TPC and \$16.5M MACC are based on \$286/SF for new construction totaling 57,797 GSF, no renovations, demolishing 98,388 GSF at \$15/SF, \$500,000 in site costs and \$8.1M in soft costs. The TPC per the district application was \$33.6M, which is based on a MACC of \$20.1M or \$351/SF for 57,464 GSF. The TPC also assumed renovation of 36,438 GSF at \$8/SF, demolishing 88,838 GSF at \$31/SF, \$360,000 in site costs and \$10.1M in soft costs.

Subject: GMCS request change in scope to include the demo of the kitchen / cafeteria with all new construction including cafeteria / Kitchen area to Tohatchi High School construction P19-004. Renovation of old gym as a practice area and construction of a new gym large enough to accommodate expected fan base.

Date: September 29th, 2021

Dear Jonathon,

The Gallup McKinley County School District (GMCS) request PSCOC inclusion, award language and budget, to include the demo of the kitchen / cafeteria with all new construction including cafeteria / Kitchen area to Tohatchi High School construction P19-004. The district Request construction of a new gym and the renovation of the old gym to allow extra practice space for athletic teams and practice workspace for various other school organizations.

The district understands the MACC will stay the same; any additional cost will be at District expense.

The district is asking for the change in verbiage, adding complete demo of the cafeteria / kitchen with total new build of kitchen / cafeteria, renovation of existing gym as practice area and new gym construction to accommodate the number of spectators typical for the sporting events.

The district appreciates PSCOC and PSFA consideration to add this scope of work to systems based project number P19-004

If you have, any questions please feel free to contact me at any time.

Roxy Flanders
Director of Maintenance and Construction
Gallup McKinley County School
640 South Boardman Avenue
Gallup, NM 87301
Cell: 505-728-7690
Office: 505-721-1107



Subject: GMCS request change in scope to include the demo of the gym and kitchen / cafeteria with all new construction including gym and cafeteria / Kitchen area to Tohatchi High School construction P19-004

Date: August 26th, 2021

Dear Jonathon,

The Gallup McKinley County School District (GMCS) request PSCOC inclusion, award language and budget, to include the demo of the gym and kitchen / cafeteria with all new construction including gym and cafeteria / Kitchen area to Tohatchi High School construction P19-004 .

The district understands the MACC will stay the same, any additional cost will be at District expense.

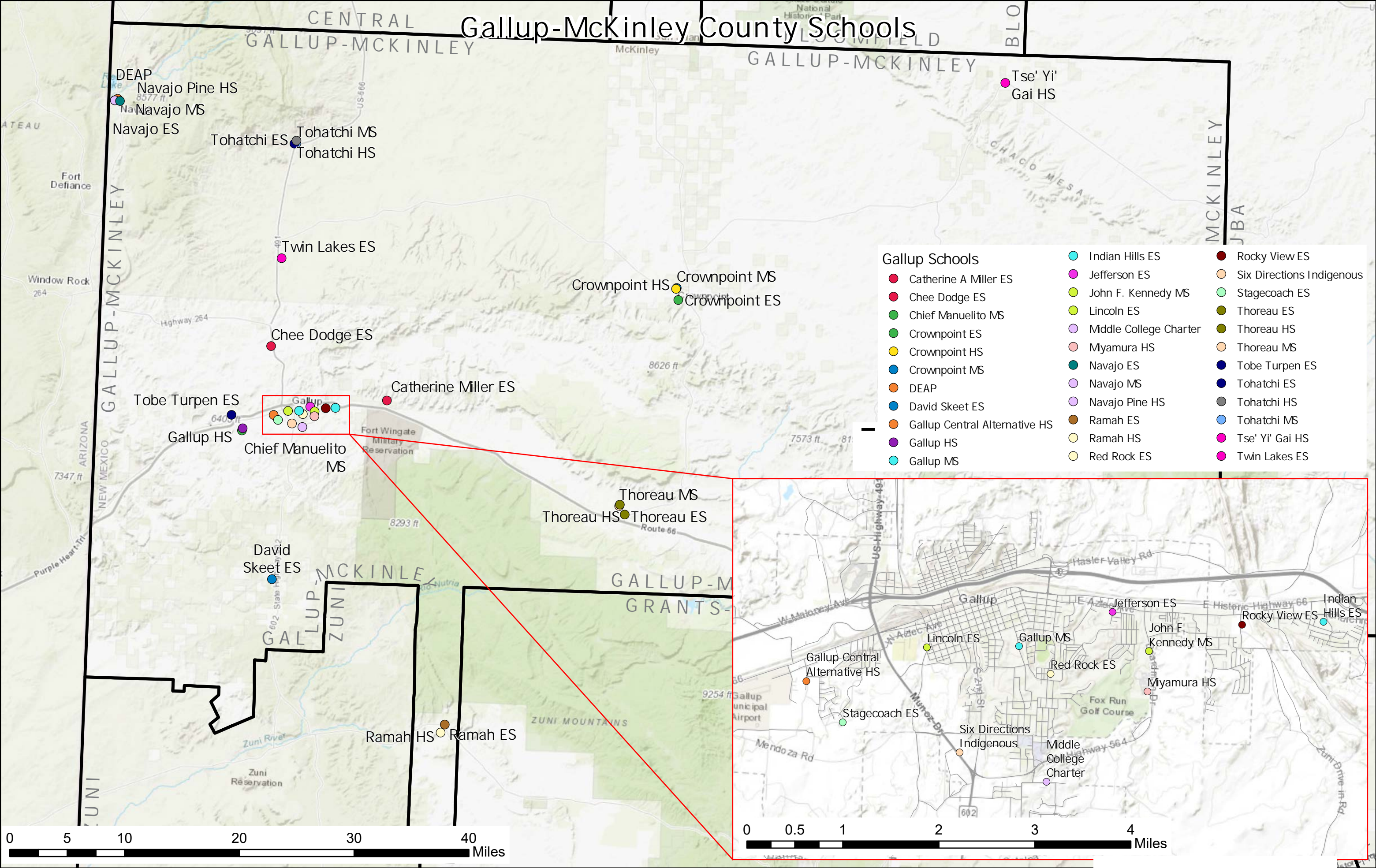
The district is asking for the change in verbiage, adding complete demo of the gym and cafeteria / kitchen with total new build of these areas.

The district appreciates PSCOC and PSFA consideration to add this scope of work to systems based project number P19-004

If you have any questions please feel free to contact me at any time.

Roxy Flanders
Director of Maintenance and Construction
Gallup McKinley County School
640 South Boardman Avenue
Gallup, NM 87301
Cell: 505-728-7690
Office: 505-721-1107

Gallup-McKinley County Schools



Buildings to be Demolished per July 13, 2020 PSCOC award

Building to be Demolished per September 29, 2021 GMCS request

Building to be renovated per September 29, 2021 GMCS request, funded at 100% local share, per 10.4.21 PSCOC meeting

CR/Library/Admin
1976
34,667 GSF

CR/Band/Vo-Ag
1980
52,379 GSF

Cafeteria/Kitchen
1980
11,342 GSF

Main Gym
1980
25,096 GSF

Tohatchi High School

High School Dr



STATE OF NEW MEXICO

PUBLIC SCHOOL CAPITAL OUTLAY COUNCIL
PUBLIC SCHOOL FACILITIES AUTHORITY

MICHELLE LUJAN-GRISHAM
GOVERNOR

JOE GUILLEN
PSCOC CHAIR

JONATHAN CHAMBLIN
PSFA DIRECTOR

PSCOC AWARD MODIFICATION REQUEST

DATE: 9/20/21

REQUEST TYPE: ☒ Out-Of-Cycle ☐ Waiver ☐ Advance ☐ Additional Funding ☒ Award Language Change

NOTE: For Waiver/Advance requests, districts must complete and submit a Statement of Financial Position (separate form), which must be signed by the district bond advisor. Read INSTRUCTIONS at the end of the application for additional criteria/local match waiver eligibility. Incomplete forms will be returned to the district and may delay action by the Council.

SCHOOL DISTRICT: Gallup McKinley County Schools
PSCOC PROJECT #: P19-004
PROJECT NAME: Tohatchi HS
wNMCI RANK AT AWARD: 28
ENROLLMENT: 293
DESIGN CAPACITY: 300
Fiscal Year of most recent audit submitted & accepted by State Auditor: _____

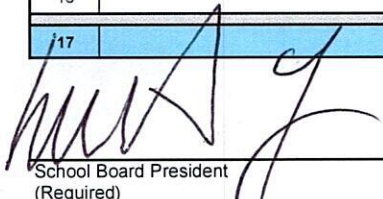
DESCRIPTION OF REQUEST:

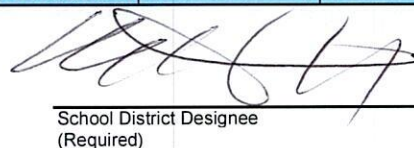
Amend the 2018-2019 standards-based award language for Gallup-McKinley County Schools Tohatchi High School (P19-004) to include demolition funding for the Kitchen/Cafeteria and Gym buildings in lieu of funding for the renovation of these buildings. No additional funding is needed at this time for the amended award language. Upon completion of the design phase, the district may return to the PSCOC for out-of-cycle funding for the construction phase of the project.

Line	CURRENT PSCOC AWARD INFORMATION	TOTAL TO ADEQUACY	STATE TO ADEQUACY	DISTRICT TO ADEQUACY	DISTRICT ABOVE ADEQUACY
1	Original Award	\$ 75,000	\$ 60,000	\$ 15,000	\$ -
2	Appropriation Offset at Original Award	\$ -	\$ -	\$ -	\$ -
3	Waiver ###/###/###	\$ -	\$ -	\$ -	\$ -
4	Supplemental Award 07/13/20	\$ 3,134,965	\$ 2,507,972	\$ 626,993	\$ -
5	Supplemental Award 07/12/21	\$ 433,232	\$ 346,585	\$ 86,646	\$ -
5a	Supplemental Award 10/12/21	\$ -	\$ -	\$ -	\$ -
6	Subtotal Project Costs after Waiver & Offsets:	\$ 3,643,197	\$ 2,914,557	\$ 728,639	\$ -
7	Local Match Advance ###/###/###	\$ -	\$ -	\$ -	\$ -
8	ADJUSTED TOTAL BUDGET (USES)	\$ 3,643,197	\$ 2,914,557	\$ 728,639	\$ -

Line	ESTIMATED TOTAL PROJECT COSTS	
9	Total Project Cost	\$ 3,643,197
10	Total Project Cost to Adequacy	\$ 3,643,197
11	Current Budget to Adequacy (Line 6)	\$ 3,643,197
12	Estimated Additional Funding Required (Line 10 - Line 11)	\$ 0

Line	ADDITIONAL FUND REQUEST	STATE TO ADEQUACY	DISTRICT TO ADEQUACY	DISTRICT ABOVE ADEQUACY
13	Match Percentage	80%	20%	100%
14	ADDITIONAL FUNDS REQUEST (Line 12)	\$ 0	\$ 0	\$ -
15	Offset Carryforward (if applicable)	\$ -	\$ -	\$ -
16	WAIVER/ADVANCE REQUEST	\$ -	\$ -	\$ -
17	ADJUSTED ADDITIONAL FUNDS REQUEST	\$ 0	\$ 0	\$ -


School Board President
(Required)
9/21/21
Date


School District Designee
(Required)
9/23/21
Date

Signatories certify that, to the best of their knowledge, the information contained in the application herein is complete and accurate.

ADDITIONAL
INFORMATION:

Teacher Housing Design funding has been added to the P19-004
Tohatchi HS project.

PSFA STAFF
RECOMMENDATION:

Richard Dicks
PSFA Regional Facilities Manager

9.24.2021
Date

PSFA Senior Facilities Manager

Date

SUBCOMMITTEE REVIEW DATE: _____

☐ Approve Recommendation
☐ Reject Recommendation

COMMENTS:

PSFA Director

Date

PSCOC Awards Subcommittee Chair

Date

PSCOC REVIEW DATE: _____

☐ Approve Motion
☐ Reject Motion

MOTION:

INSTRUCTIONS

For purposes of determining eligibility for **Reduction/Advance of Local Share**, detailed financial information for the project and the district at large is required. In instances where district cash flow/cash balances are an issue, assistance may be offered in the form of an advance to be repaid, as opposed to a reduction in the local match which does not require district repayment. Final consideration of the request must be by a quorum of the PSCOC in a public meeting.

REDUCTION/ADVANCE OF LOCAL SHARE

The Council may adjust or advance the amount of local share otherwise required if it determines that a school district has used all of its local resources. The Council shall consider whether the school district has insufficient bonding capacity over the next four years to provide the local match necessary to complete the project and, for all educational purposes, has a residential property tax rate of at least 10 mills. The Council may also consider waivers if the following district conditions exist: 1.) the residential mill levy is at least 7 mills; 2.) the MEM count is equal to or less than 800; 3.) the percent of free or reduced lunch is equal to or greater than 70 percent; and 4.) the state share is equal to or less than 50 percent. The district, in consultation with their bond advisor, shall complete and submit the District Statement of Financial Position on page 2 of this application and be signed by the school district bond advisor.

STATEMENT OF FINANCIAL POSITION

All requests for advance/waiver require completion of the Statement of Financial Position signed by the school district bond advisor and reviewed and signed by the Public Education Department. Incomplete Statements may delay consideration and action by the Council. If you are unclear about any requested financial information, contact your Public Education Department budget analyst at 505-827-6537 for assistance.

I. **PSCOC Meeting Date:** November 8, 2021

II. **Item Title:** E18-001 Santa Rosa Anton Chico MS – Potential
Emergency Awards

III. **Name of Presenter(s):** Martica Casias, Interim Director
Daniel Juarez, Senior Projects Coordinator

IV. **Potential Motion:**

Council approval to amend the current Emergency award for up to \$1,643,844 to Anton Chico ES for design to determine repair or replacement of the existing school. Additionally while design is underway, funding may also be used to mitigate any immediate health, life safety issues discovered by the design team.

- Site-wide storm drainage improvements
- Foundation stabilization
- Addressing safety hazards, both interior and exterior
- Repair all interior damage caused by settlement

V. **Executive Summary:**

Current Status:

- There are significant and significant structural and moisture with Anton Chico MS that require immediate attention to stop the degradation of the facility.
- PSFA assessor performed a FAD Assessment on October 26, 2021.

The October 2021, FAD Assessment determined that the foundation/slab/structure, exterior doors, pedestrian paving and basketball courts are ranked at a Category 1, an immediate code/life/health issue. The assessment also concluded that the floor finishes, exterior and interior walls are ranked at a Category 3, a system exhibiting damage and/or degradation that is beyond repair and failure is imminent.

Background:

In September 2017, with approval from the PSCOC Chair, Santa Rosa Consolidated School district was awarded emergency funds in the amount of \$150,000. The purpose of the emergency funding was to hire a third party engineer to conduct an assessment of the existing building and surrounding site for civil and structural problems responsible for the current building issues.

In September 2018, PSCOC amended the emergency award language to allow the district to utilize the remaining balance of the original emergency award to start repairs to mitigate the immediate issues at Anton Chico.

In October 2018, at the request of the district's legal counsel, the district hired a consultant to conduct an additional assessment of the facilities.

In February 2021, the district moved forward with a lawsuit against the general contractor, Franken Construction and the design professional, Fanning, Bard, Tatum (FBT Architects).

Arbitration is scheduled for October 2022.

Summary of Design Professional's reports

➤ **2017 Structural Engineer and Architect of Record letter:**

- The letter to the district stated that the building was safe to occupy and not in danger of structural failure

➤ **2017 third party Civil/Structural engineer report:**

- Report indicated The School exhibits evidence of subsurface soil volume changes since completion of construction in early 2014. Based on the reopening of repairs performed by the General Contractor in the summer of 2016, the subsurface soil volume changes are continuing.
- The reports floor level survey indicated that there was 4.6 inches of vertical differential across the floor surface of the School. The measured floor differential in conjunction with the numerous areas of significant angular distortion exceeds industry standards for newly constructed slabs on grade.
- The 2017 investigation by the geotechnical engineer encountered a fill material obtained from CR-117 that had a swell potential of 4.3%. A fill material exhibiting a swell potential of 4.3% can cause problematic movement of a concrete slab. The movement would result in cracking and separations in the slab and walls supported on the slab.
- There is a documented history of post-construction distress at the School.
- The report concluded, that the distress and damage to the School is from soil volume changes in or below the constructed building pad.

➤ **2018 third party Structural engineer report:**

- According to the report, the primary contributor to the facilities current condition is associated with an increase in moisture levels in the clay soils below the building's foundation system. In accordance with the original geotechnical report the building foundations were over excavated to a depth of three feet and replaced with engineered fill, the clay soils are located directly below the fill.
- There were also minor contributing factors to the moisture intrusion below the facilities concrete floor slab.
- Report recommended protection of the soils below the foundation to stabilize the moisture content of the soil is stabilized, replace damaged exterior slabs.

➤ **2019 third party Structural engineer report:**

- According to the report, the groundwater collecting underneath the school site, increasing moisture around the perimeter and shear strength loss of native soils have led to distress at the site.
- The foundation system was not designed for the variations in moisture that have occurred.
- Report recommends that the school consider securing funding needed to stabilize the foundation system, as continued structural distress has potential to render the building unsafe for occupants.
- Remedial work is needed to address not only the foundation system, it should also address the drainage deficiencies which have led to wetting of soils adjacent to the building.
- Grout injection around the perimeter footings and isolated interior footings could be an effective solution to mitigate weak native soils. The injection of grout columns is one of several options for stabilizing the foundation soils in place, which also compacts the material laterally between the columns.

Award Language:

September 2017: *Emergency advance award to address structural issues.*

September 2018: (amended 2017 award), *Approve the Santa Rosa Consolidated Schools request to utilize the remaining balance of the Emergency funds in the amount of \$85,123.75 to begin making repairs and move forward with building a scope of work and associated timeline to address the immediate issues at Anton Chico, as listed in the engineering report conducted by Chavez-Grieves.*

Staff Recommendation:

Staff recommends amending the current Emergency award for up to \$1,643,844 to Anton Chico Schools for design to determine repair or replacement of the existing school. Additionally while design is underway, funding may also be used to mitigate any immediate health, life safety issues discovered by the design team.

- Site-wide storm drainage improvements
- Foundation stabilization
- Addressing safety hazards, both interior and exterior
- Repair all interior damage caused by settlement

Estimated Repair Cost:

Estimated repair costs are unknown at this time.

Estimated Replacement Cost:

Staff analysis of a potential replacement facility included 115 students for a maximum allowable GSF of 28,363 GSF.

Analysis included \$20/SF for demolition of the existing facility and \$1,000,000 in site work costs to address the site conditions referenced in both of the third party engineering reports. For a maximum allowable construction cost (MACC) of \$11,506,910. With soft costs of \$4.9 million an estimated total project cost (TPC) is \$16,438,443.

Anton Chico MS/Rita Marquez ES - PSFA Analysis			
New \$/SF (MACC)	\$350		
Total GSF	28,363		
Total New Construction MACC	\$9,927,050		
Reno \$/SF (MACC)	\$0		
Total GSF Reno	0		
Total Reno MACC	\$0		
Estimated Site Costs MACC	\$1,000,000		
Demo \$/SF (\$15-\$25)	\$20.00		
Total GSF for demo	28,993		
Total Demo MACC	\$579,860		
Total Estimated MACC	\$11,506,910		
Soft Costs (standard PSFA assumption)	\$4,931,533		
Total Estimated Project Cost (School)	\$16,438,443		
Estimated Santa Rosa Replacement Costs	Total	State Share	Local Share
		100%	0%
Design	\$ 1,643,844	\$ 1,643,844	\$ -
Construction (Replacement) To be Determined	\$ 14,794,599	\$ 14,794,599	\$ -
Total Estimated Project Cost by Project Phase	\$ 16,438,443	\$ 16,438,443	\$ -

Anton Chico ES Timeline

DATE	EVENT	INFORMATION	SIDE NOTES
8/16/2018	Meeting at Santa Rosa district to discuss the report		
7/17/2018	Final Report was submitted for review	Conclusion: significant post construction soil moisture increases have occurred beneath the structure and created differential movement of the foundation supporting soils which have caused the distress to the structure.	
01/2018 -07/2018	Investigative work in progress	Installed crack monitors, obtained soil samples below the building, surveyed site elevations around building and interior floor elevations, conducted leak testing of underfloor piping, etc.	
1/3/2018	Kick off meeting with the engineer, consultants, PSFA and the district at the school		
12/11/2017	Chavez-Grievies consulting engineers, Inc. was hired to provide investigative services		
10/16/2017	PSCOC awarded \$150,000 in Emergency Funds	Project E18-001 - to determine causation and abnormal setting of the Rita Marquez/Anton Chico ES/MS	
10/1/2017	Walla Engineering LTD site visit to Anton Chico ES	Structural engineer visited the site and reported that the school building is structurally sound	
9/27/2017	Meeting PSFA/Santa Rosa district at PSFA Alb.office	Developed plan of actions: if insurance declines to participate, district is to hire the 3rd party to investigate and provide report To eliminate tripping hazards, Franken Co. will patch floor cracks.	Superintendent was concerned about the safety of students/staff
7/14/2017	E-mail from Jeremy Trumble, FBT architects outlining directions to proceed	The subsurface conditions and cracks will be monitored over the next 6 month.	
7/6/2017	Meeting PSFA/Santa Rosa district/GBT arch/Franken Co. at Santa Rosa Schools admin.office	Update and current status: recent paddles in classrooms, discussion about notifying the insurances.. Received GBT arch. Review Report dated July 5, 2017. No clear source for the cause of the elevated moisture.	Bryon Pompeo remembered that during the construction(July-August) they had to re-do the eartwork due to high level of moisture and asked Ovi if they can be reimbursed for this extra work. District maintenance reported that the school was built on the former site of the race track which was always wet.
7/6/2017	Site visit and walk through the school	The classrooms with reported paddles were visited. No source of water determined. Noted the drop of the concrete sidewalk at the Head Start portable	
6/26/2017	Superintendent Perea forwarded e-mails from the school principal who reported water puddles in classrooms #119, 130 and Estefainas room		
6/20/2017	Franken sends its Report to R. Perea	Franken reports that its company did investigate all possible causes and did not find what caused the slab crack.	
5/26/2016	Meeting with All at GBT architects office in Alb.	Discussion about possible causes	
5/25/2017	Jeremy T./GBT sends e-mail to B&P engineers	Jeremy T. informs about the floor cracks and asks for the engineers opinion about the possible causes	
5/24/2017	Miller Bonding site visit	Miller Bonding report indicated extreme negative pressure inside the building. found damaged gauge	
4/19/2017	E-mail from Jim Frnken	Franken reported that they did not find any broken pipes, awaiting a report from Roto Rooter which did the scoping of the sewer lines.	
4/12/2017	E-mail from Jim Franken	Franken indicated that they did two cores in the slab and found that the soil is saturated in both places.	
4/7/2017	GBT arch./Jeremy T. e-mail to Western Technologies	Jeremy T. invites Jeff m. Boyd, Principal, W.T. to visit the school and investigate the problem.	
4/3/2017	GBT arch. Status report	GBT recommendations to follow steps outlined in Walla report and investigate possible source of moisture.	
3/20/2017	Site visit report from Walla Engineering LTD	Structural engineer recommended preliminary investigation to be preformed on the slab and the substrate soils.	
3/15/2017	Initial meeting at the school to discuss the problem		
2/15/2017	PSFA assessor visit to Anton Chico ES	PSFA assessor report noted significant floor cracking in room #119 and other settlement issues	GBT architects were contacted to investigate issues.
5/22/2015	11 month walk through was conducted	11 month walk through report indicates some drywall cracking, roof leak, sink leak, some water in the penthouse.	No significant settlement or floor cracks were noted.
2/27/2013	Eartworks Compaction Tests Results indicated that compaction failed	Grid E8, Grid G9, Grid D10, Grid D6,11 of the building pad failed the compaction test.	No paperwork provided indicating that the re-compaction and the re-testing were performed



**ANTON CHICO RITA M. MARQUEZ ELEMENTARY
ANTON CHICO MIDDLE SCHOOL
GEOTECHNICAL SITE CONDITION REPORT
ANTON CHICO, NEW MEXICO**

YeDoma Consultants, LLC
Albuquerque, New Mexico



**ANTON CHICO RITA M. MARQUEZ ELEMENTARY/ ANTON CHICO MIDDLE
SCHOOL
GEOTECHNICAL SITE CONDITION REPORT**

Submitted to:

PUBLIC SCHOOL FACILITIES AUTHORITY
1312 BASEHART SE, STE 200
ALBUQUERQUE, NM, 87106

Submitted by:

YeDoma Consultants, LLC
Albuquerque, New Mexico



11/13/2019

YeDoma Consultants, LLC
523 Louisiana Boulevard SE
Albuquerque, New Mexico 87108
www.akurta.com

Date: 11/14/2019

Office: (505) 633-6841
www.akurta.com

Executive Summary

Anton Chico, Guadalupe County, New Mexico is a rural community on the banks of Pecos River Valley. In the vicinity there are about 190 residents (126 housing units). In 2012, the Santa Rosa Consolidated Schools and Public Schools Facility Authority (PSFA) planned for reconstruction of a local school between Anton Chico and La Loma, on the east side of the Pecos River. The 10.1-acre site's land use was converted from a horse track into the Anton Chico Rita M. Marquez Elementary/ Anton Chico Middle School, a public school under regulatory oversight by the Santa Rosa Consolidated Schools system. FBT Architects was the A/E firm awarded the design and construction management while Franken Construction built the school facility in 2013-2014). The school has undergone extensive studies over the last five years due to shifting ground conditions and building distress issues.

In 2019, YeDoma Consultants, LLC (YeDoma) was authorized by the Santa Rosa Consolidated Schools and Public Schools Facility Authority (PSFA) of New Mexico to review site conditions. YeDoma limited the study to earthwork, drainage, and geo-structural aspects of the project. As is typical for infrastructure projects, the architect and engineering team established the project design criteria early in the planning phase. For the Anton Chico school reconstruction, the International Building Code (IBC) 2009 was specified in the contract documents. The geotechnical firm of record was Western Technologies, Inc. (WTI) conducted site investigations in 2012 and identified a site risk due to expansive soil conditions. A shallow foundation system was specified with an estimated magnitude of differential settlement of less than $\frac{3}{4}$ " based on moisture condition state as determined at the specific locations and time of testing. The foundation design report provided a limitation to the design, any change in moisture, as stated in the geotechnical report, was intolerable. The moisture pattern changed due to the land use change, and drainage pathways were designed to convey flow adjacent to the perimeter of the building. Expansion joints opened 1-2" providing direct paths for water to enter subgrade soils leading to moisture increases. On the north side of the site, ponding water seeps through the exterior walls into the school's Kindergarten learning lab classroom(s). This occurred during a storm event with an estimated total precipitation of about 0.7 inches on October 4th, 2019. We attribute issues at the site to:

1. Deficient drainage system-building perimeter ponding occurs;
2. Foundation system-non-conforming to IBC, did not consider depth to constant moisture;
3. Sidewalks, exterior pavement, and footing concrete work (outside of the school building pad) were directly laid upon moisture susceptible clay
4. Construction phase material testing and IBC special inspections were insufficient to document the adequacy of subgrade foundation soils during construction, were not conducted by a registered geotechnical engineer as required in the contract

It became evident through our research that the design did not accommodate any moisture increase in the subgrade soils. As the moisture susceptible clay foundation soils increase in moisture, structural distress (heaving and settling) of the foundation system worsens. In the first five years post-construction, building distress has been reported and studied extensively at the site. Unfortunately, the distress issues appear to be worsening and serviceability issues (propagating cracks and windows and doors jamming, uneven surfaces) are becoming more problematic from a maintenance and operations viewpoint. The planning and remedial work to stabilize the facility and integrate remedial drainage improvements should be implemented without further delay.

YEDOMA CONSULTANTS, LLC
523 Louisiana Blvd SE
Albuquerque, NM 87108

Office: (505) 633-6841
www.akurta.com

11/14/2019

Attn: Mrs. Erica Padilla
Public School Facilities Authority Representative
Santa Rosa Consolidated Schools
1735 Highway 119
Anton Chico, NM 87724

Subject: E18-001/Anton Chico- YeDoma Geotechnical Investigation Report Submittal



Dear Mrs. Padilla

YeDoma Consultants, LLC (YeDoma) is submitting our Geotechnical Investigation Report for the Anton Chico School. The attached report is the final deliverable for the authorized Scope of services (Dated 10/04/2019).

We appreciate the opportunity to support the project. Should you have any questions or require additional information, please do not hesitate to contact me.

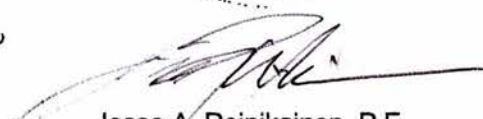
Respectively Submitted,

YeDoma Consultants, LLC.



Chase Beckstead, EI
Geotechnical Assistant

Deborah Anyaibe, M.S.
Project Manager



Jesse A. Reinikainen, P.E.
Principal Civil/Geotechnical Engineer

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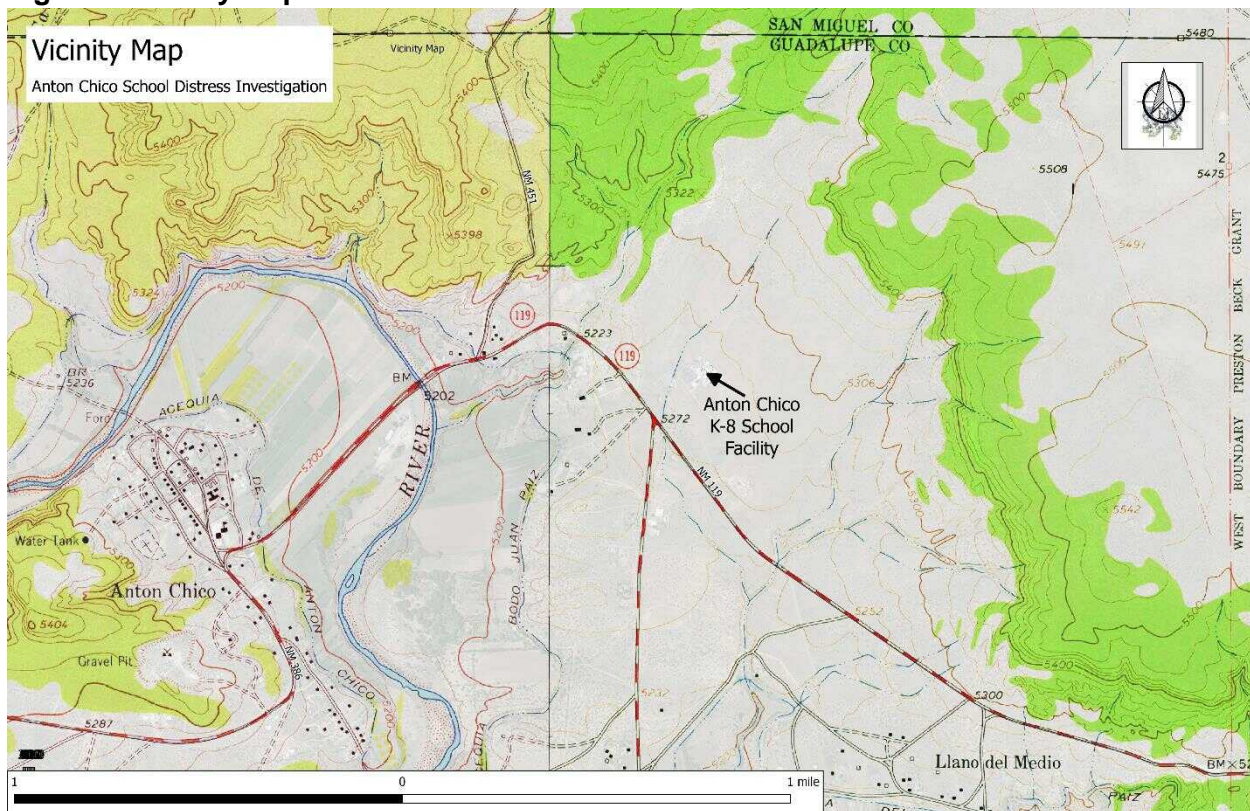
Note: Cover photo illustrates the perimeter footing trench in the foreground delineating engineering fill in the building pad (pink soil color) adjacent to native soils (brown soil color). The native clay soils are considered to be moisture-susceptible to depths over twenty-feet deep.



1.0 INTRODUCTION

YeDoma Consultants, LLC. (YeDoma) was authorized by the State of New Mexico Public School Facilities Authority (PSFA) to investigate distress conditions at Rita M. Marquez Elementary/ Anton Chico Middle School Facility, through a YeDoma issued PO, Contract E18-001. Anton Chico School is located at 1735 Highway 119, Anton Chico, NM. Figure 1 presents a vicinity map of the location, which is also included in Exhibit 1 of the Appendix A. The school reconstruction project was designed by FBT Architects (FBT) through PFSA Project #P12-010. Funding for the project was through the State of New Mexico Capital Outlay funds. Franken Construction was awarded the construction phase of the project in 2013. Substantial completion occurred in July 2014. In May 2015, an 11-month walkthrough was conducted, reporting that drywall was cracking, and that asphalt pavement was eroding. The design and construction team worked together to determine cause of distress cracking throughout the Warranty Period. This report includes an evaluation of the facility five-years post-construction. YeDoma's scope of work included an office study to become familiar with the project's history and meeting with the school's representatives. Yedoma was granted access to available reports, construction photos, material test reports, and engineering studies post construction and integrated relevant information into this report.

Figure 1 Vicinity Map



In 2017 the distress cracking issues intensified at Anton Chico School. FBT and Franken Construction actively investigated the cause of cracking, however, the source of moisture was not identified at that time. The original geotechnical engineering firm, Western Technologies, Inc. (WTI) was brought back in to re-test soils, Walla Engineering (Structural Engineer of Record) was brought in to re-evaluate the structural integrity of the facility, and Earthworks Engineering Group, LLC (EEG) was contacted and material reports were uploaded. The distress in the classrooms, jamming of windows, doors, and crack openings at the slab expansion joints were determined to

be related to shifting of foundation soils due to a utility leak, however no clear source for moisture was noted.

A Cause and Origin report was issued in 2017 by Madsen, Kneppers, & Associates, Inc. (MKA) which included a level survey documenting about 4.6 inches of vertical shifting across the finished floor elevation and discussion about swell potential of the soils.

In 2018, Chavez-Grievess evaluated the site, with geotechnical support from Geo-Test, Inc. (Geo-Test), technical expertise from geotechnical engineers, Scott McGee, Civil Engineer, Terra Land Surveyors, and an underground leak detection company. A comprehensive review of the site was conducted. The 2018 Chavez-Grievess Report identified a similar magnitude of deflection (4.8 inches) and concluded that the ground movement and site building distress resulted from moisture intrusion into the clay soils. Chavez Grievess recommended re-grading the site, removing planters, sealing trenches, and monitoring cracks. If conditions worsened, they recommended constructing a moisture cut-off wall.

In October 2019, YeDoma evaluated the subsurface conditions including a study of the strength of soils (in-situ) using dynamic probing with a 140 lbs. hammer and 30" drop, the same energy used in the standard penetration test. Continuous probing inside and outside of the building pad was carried out by YeDoma. Our finding is that the foundation is underlain moisture-susceptible subgrade soils, the increases in moisture (up to 10%) has led to soil behavior issues related to both expansion-swell and loss of shear strength-consolidation settlement.

2.0 SITE CONDITIONS

YeDoma research included evaluating the index characteristics of the area including climate, land use, groundwater, soil mapping, geology, and regional geotechnical hazards associated within this part of New Mexico.

2.1 Climate

The site is within the semi-arid southwest region. Daily fluctuations in temperature and seasonal changes along with precipitation events, are key factors that contribute to seasonal frost and construction considerations. Thermal expansion and contraction, seepage relating to expansive behavior of subsurface material, and moisture related loss of shear strength are dependent on climatic conditions. Temperatures fluctuate by about 33°F on average throughout the day. The climate summary is presented in Table 1, this data was collected from the Dilia, New Mexico Station (292510). The period of record is 11/01/1941 to 05/31/2016. The average minimum temperatures are below freezing for a little less than half of the year. The rainfall is evenly distributed throughout the year with the wettest months during the summer monsoon season (July – August).



Table 1: Climate Summary

Month	Average Total Precipitation (inches)	Average Total Snowfall, (inches)	Average Minimum Temperature (°F)	Average Maximum Temperature (°F)
January	0.53	5.5	21.2	51.8
February	0.51	4.1	24.0	55.9
March	0.74	4.9	28.9	62.4
April	0.77	1.2	36.1	70.7
May	1.09	0.2	44.5	79.4
June	1.39	0.0	53.8	88.9
July	2.47	0.0	58.7	90.8
August	2.63	0.0	57.2	88.5
September	1.76	0.1	49.9	82.4
October	1.19	0.5	39.2	72.5
November	0.57	2.9	29.0	60.6
December	0.72	7.1	21.8	52.4
Annual	14.38	26.4	38.7	71.4

Note: Data from the Western Regional Climate Center, based on unofficial values for station 292510

2.2 Land Use

YeDoma reviewed historic mapping from the area, which included Google Earth imagery, historic single frame photos (USGS) and Landsat imagery to research historic land development changes:

- 2012: Google Image with horse track shown. Appears that the track is not well kept and there is no sign of construction for the new school.
- 2014: Google Image with recently constructed Anton Chico Elementary School. School was placed directly on the northern side of the track footprint with the existing track present in the southeast side of the school property.
- 2019: Google image with school present and more developed with landscaping and building construction on the property. There is a change in the ground cover, which appears a gray patch in the photo



Photo 1 Google Earth imagery from October 2012 Pre-Construction

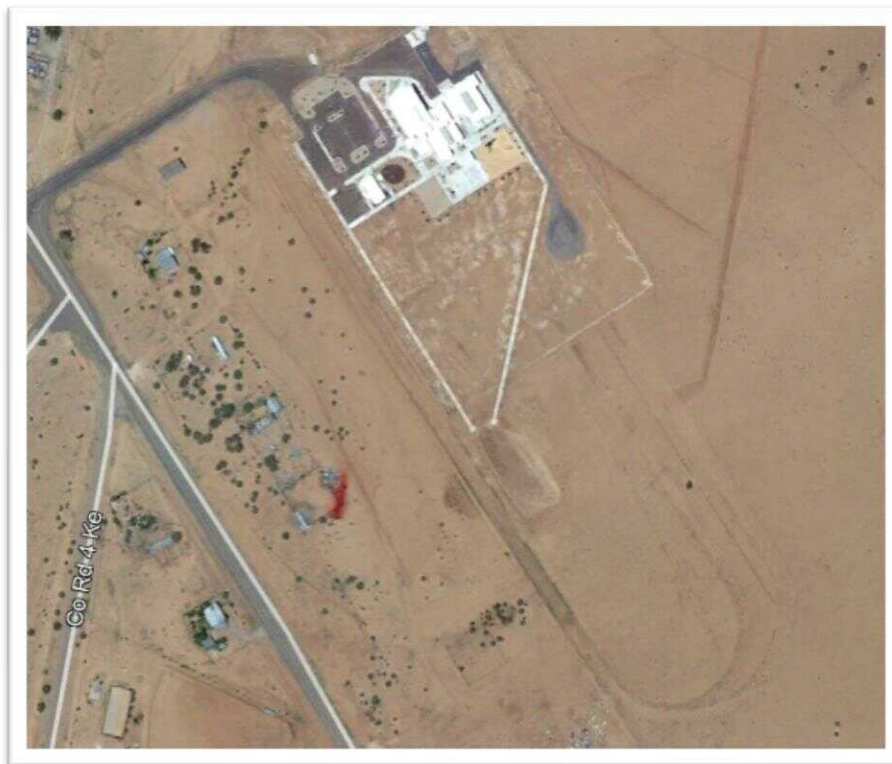


Photo 2 Google Earth Imagery from June 2014 Construction Completed



Photo 3 Google Earth Imagery from May 2019, five years post-construction



2.3 Groundwater

The geotechnical borings by WTI and Geo-Test, did not identify groundwater to the depths explored. Well logs were reviewed from the Office of the State Engineer's Database. The nearest well is ½ mile west, near the Pecos River floodplain, lithology is a shale/mudstone/claystone (Chinle Formation) with water bearing aquifer 350 feet below the ground surface.

2.4 Soils

Soil mapping in the area is based on the Web Soil Survey from the United States Department of Agriculture (USDA) and the Natural Resources Conservation Service (NRCS) for Guadalupe County. A soil survey map is illustrated in Figure 2. The foothills in La Loma, where the school is located, are mapped as Clovis loam, with 0 to 3 percent slopes.

The Clovis loam component of the soil is mapped as Lean Clay (CL) in the unified soil classification, and A-4 to A-6 in the AASHTO classification system. The liquid limit and plastic index are about 28 and 8, respectively.

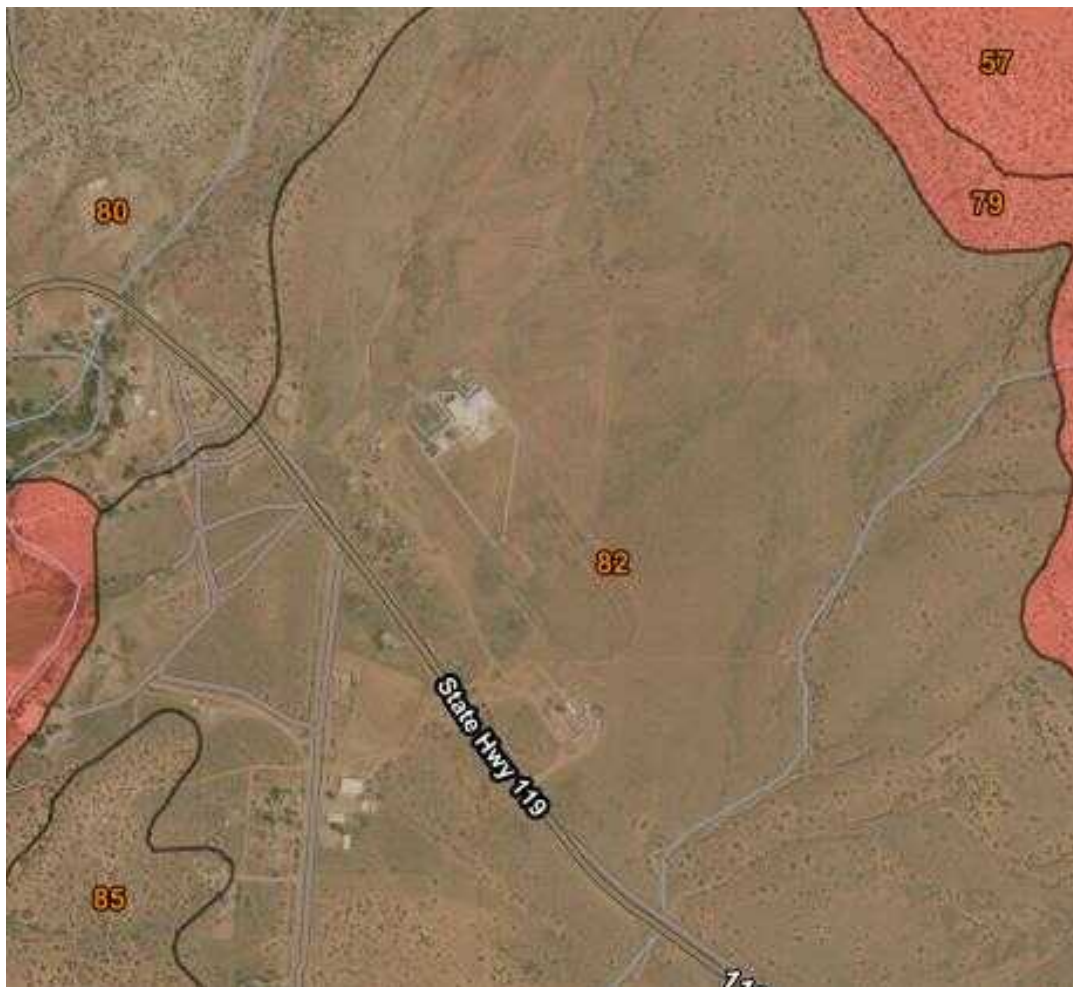


Figure 2 Soil Mapping



2.5 Geology

Guadalupe County in East-central New Mexico is underlain by Triassic rocks. In the project area, alluvium overlies conglomerate sandstone known as the Santa Rosa Formation (Trs) which mantles the surface to the east of the site. The Santa Rosa is comprised of the Tecolotito layer which consists of trough-crossbedded quartzarenites and conglomerate, Los Esteros green/blue smectitic mudstones, and Tres Lagunas cross bedded quartz arenites. The collective layer thickness constitutes about 400 feet. The Santa Rosa overlies the Upper Chinle (Trcu) Formation, composed of fluvial, lacustrine and eolian deposits that covers a vast portion of the eastern central New Mexico region. The school grounds is mapped as Chinle formation. Geologically, the soil mapped as Clovis Clay is considered alluvium overburden, where at shallow depths, stratified weathered mudstone is weathered bedrock, mapped as the Chinle Formation with bedding planes dipping to the southwest.

2.6 Geotechnical Hazards

This region of New Mexico is known for geologic hazards, common issues include expansive soils, collapsible soils, dispersive soils, and karst (gypsum dissolution). In District 4, the New Mexico Transportation Department historically treated expansive soils by sub-excavating four to five feet and plating the bottom of the excavation with an impermeable material, such as asphalt. The behavior of expansive soils is well documented through case studies, and standards of practice incorporates swell and expansive laboratory analyses. The karst terrain is characterized by sinkhole features at the surface and underground rivers and caves with extensive lateral pathways. Karst is prevalent through the Pecos River Valley southeast into west Texas. In review of the geomorphology, there are collapse features prevalent in this region, resembling topographic sags with vanishing or closed drainage paths. The Chinle formation is known to have lenticular beds of gypsum. In the local area, it forms the eroded badland outcrops with bands of red and olive-green clay strata.

3.0 OFFICE REVIEW

The office review included examination of existing project documents. YeDoma conducted research of available sources including aerial and satellite imagery, climate, groundwater conditions, soil and geologic mapping. In addition, YeDoma reviewed historic files and reports made available through the eBuilder file system, administered by the PSFA. The list of reviewed document includes:

- Engineering Site Visit reports
- Construction Daily Reports
- FBT Status Reports and Documents
- Swell & Sieve Reports
- Schedules
- Meeting Minutes
- As-Builts
- Contract Documents
- Project Photos
- Special Inspections
- Geotechnical Reports
- Drawings



3.1 Drainage Design

The FBT drainage plans were reviewed for the project. A snapshot of the north corner of plan sheet C-101 is illustrated in Figure 3. Note contours 5277 and 5278, the existing drainage pattern is towards the proposed building structure. A closeup view of the area of concern is illustrated in Figure 4. The closeup image depicts arrows for the drainage pathway, conveying water eastward towards a concrete drainage swale with southeast alignment. The hatched pattern is called out as crusher fines on the detail. The flow paths are adjacent to the Kindergarten Learning Lab Rooms# 142, 133, and 134 which is important as this is where water is seeping into classrooms.

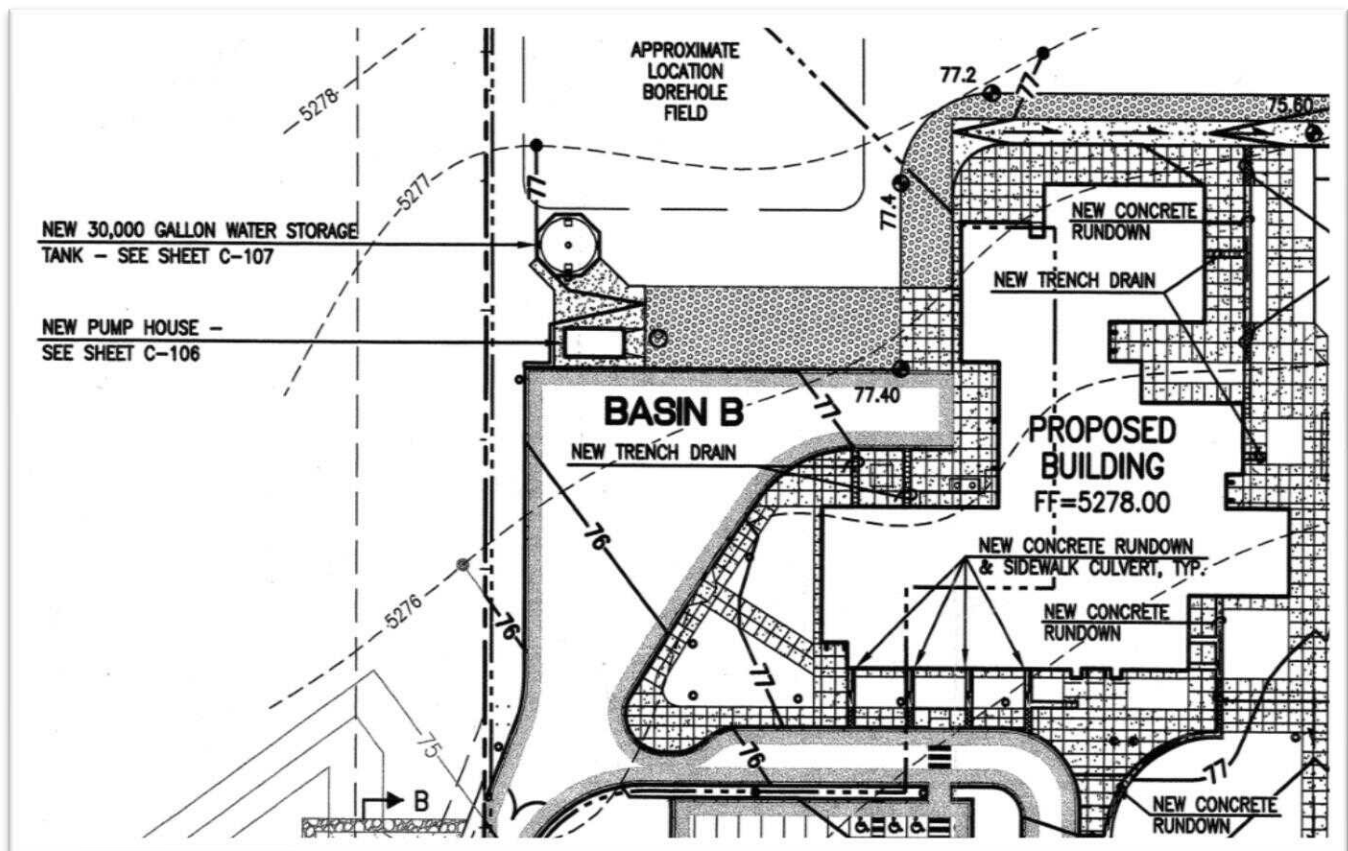


Figure 3 Drainage Design at NE portion of school

YeDoma developed Exhibit 2 to illustrate the existing drainage pathways pre-construction and Exhibit 3 to illustrate the design water pathways. The Exhibit 3 illustrates an area where water pathways have led to ponding issues and perimeter areas that have increased in moisture content post-construction. In reviewing the plans, the buildup of engineering fill at the northeast portion was raised about 1.5 feet above the existing surface, whereas the southwest side had more than 4 feet of elevation difference from existing ground to finish floor. In Figure 4, the finish floor elevation of 78.0 is about 0.2 feet above the finish elevation of the crusher fines grading towards the concrete swale. In our review, there is minimal gradient around the perimeter of the building, which resulted in issues maintaining positive drainage away from the building.

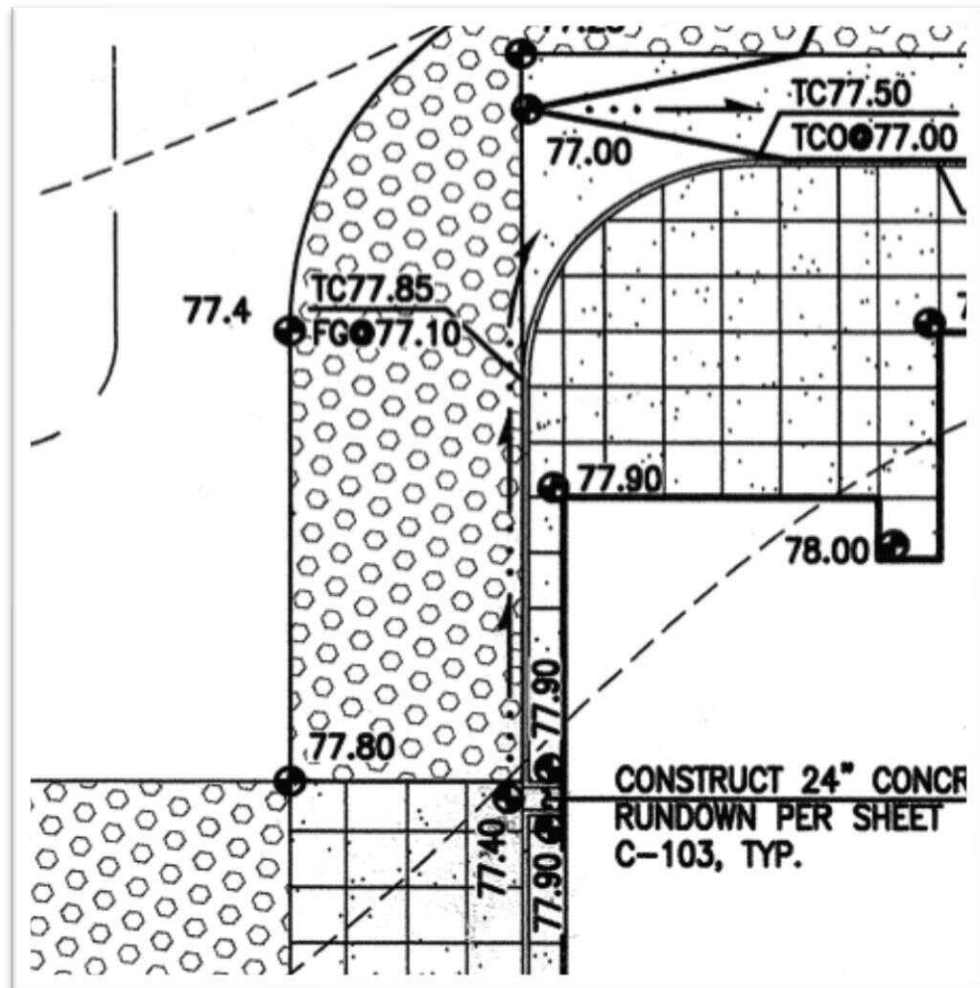


Figure 4 Closeup view of NE corner of building

3.2 Foundation Selection

The 2012 WTI geotechnical report was made part of the contract documents. Section 6.2 of the Report included a statement that the proposed structure could be supported on conventional shallow footing type foundations bearing on undisturbed native soil and/or properly compacted engineered fill. WTI recommended that the geotechnical engineer or his representative observe the footing excavations before reinforcing steel and concrete were placed. The WTI Report, Section 6.5 includes recommendations for a minimum of 36 inches of non-expansive imported material underlying the floor slab. As we understand the recommendations and the construction work that ensued, the import material was constructed 3-4 feet deep and was confined to the area delineated by the Anton Chico School perimeter footing, such that the slab was constructed per the foundation recommendations. WTI estimated differential settlement up to $\frac{3}{4}$ ", with the caveat "Additional foundation movements could occur if any water from any source infiltrates the foundation soils". In accordance with the prevailing design code for the project, IBC 2009, Section 1803.3, the effect of moisture variation on soil bearing capacity, compressibility, and expansiveness shall be accounted for in the design of foundations.



3.3 Construction Phase QC

EEG was responsible in charge of the construction phase material testing. EEG's material reports were reviewed; however, the reports were missing key information. The technician's name was not included and a signature from an EEG representative was blank on the reports. EEG reported locations per a reference grid, however a keymap was not included in the project files. The construction contract required a licensed geotechnical engineer to conduct special inspections and determine the adequacy of footing conditions, which were not documented in the project files.

YeDoma reviewed the earthwork material test reports through the construction phase of the project, which occurred from February 27th, 2013 through April 30th, 2013. The structural sheet set included provisions (Sheet S-001, S-002) for owner minimum testing frequencies (MTF) and special inspections. Our cursory calculation of the building pad is an area of about 3000 SY. The minimum testing frequency (MTF) for subgrade preparation included provisions for one test per 250 SY (12 Tests for 3000 SY), the material testing occurred on 2/27/2013 and 2/28/2013. The first four tests that EEG collected failed. The in-situ moisture was determined to be more than 20% and the compactive effort was as low as 72% of maximum dry density (MDD), which is anomalously low considering passing test is 95% of MDD. The elevation of the tests was not logged on the reports, and the report refers to a subexcavation or "over-ex", which is assumed to be at the north end of the building pad, due to sloping ground. In any case, the moisture was elevated much higher than reported in the geotechnical report and an RFI should have been issued to the geotechnical engineer of record to determine the adequacy of the foundation system. The contractor reworked the area and retested the following day with eight passing tests documented, which is less than the minimum of twelve tests needed to cover the entire building pad. We assume the contractor choked off the moist clay material by blending with lower moisture material and retested. On 2/28/13, tests 5-13 were all within tolerance for compactive effort, and approached the upper limit of the allowable moisture content limit.

For the engineered fill, the specification was one test per 150 CY (20 Tests for 3000 SY building pad or 120 tests needed to document each lift). The engineered fill within the prism of the building pad was constructed in one week. There were 21 tests collected of the engineering fill, which did not meet the MTF for the project contract. The list of tests per lift are included below:

- two (2) at -2.5' on 3/4/2013
- five (5) at -2', on 3/4/2013
- two (2) @-1.5' on 3/6/2013
- five (5) @-1' on 3/6/2013
- two (2) at -1/2' on 3/11/2013
- five (5) at Finish Subgrade Elevation (FSE), on 3/11/2013
- two (2) at FSE at gym on 5/1/2013

The photo below illustrates a trench backfilled with clay material on 3/21/2013. The backfill of the trench appears to have clay lumps and was uncontrolled with respect to moisture conditioning and in-situ testing (no reports in directory on this date).



Photo 4 Excavation/Backfill in Native Soil-Geothermal Piping



The footings tested used the Proctor for import material, tested on 3/20/2013 (4 tests @ gym), 3/26/2013 (4 tests @ building pad), 4/16/2013 (4 tests @ building pad), 4/18/2013 (10 tests of "spot footings"), 4/24/2013 (2 tests of "spot footings"). The utility trench was backfilled with engineered fill on 4/8/2013 – 4/19/2013 (6 tests). It is clear from Photo 2 that the footing rests on compacted native soils, the contact with the native clay is visible at the bottom of footing level.



Photo 5 Bottom of Footing Conditions 04/16/2013

Outside of the building pad, the EEG material reports referenced bottom of footings using a Proctor for native clay material to support structural loads for the water tank footings and underlying the exterior slabs, basketball court, and drainage ditches. At parking lots, native clay material was used in the embankment up to the profile grade, bottom of aggregate base course.

3.4 Geotechnical Site Review

In review of project reports made available, YeDoma referenced the 8/4/2012 WTI Geotechnical Evaluate Rita M. Marquez Elementary School to establish the pre-construction conditions and the 7/6/2018 Geotechnical Engineering Services Report by Geo-Test to evaluate the post-construction conditions.



The WTI 2012 data set included seven borings. The index tests are presented below:

WTI 2012 Exterior Clay Material (Depth 1-15')				
	LL, %	PI	Moisture Content, %	P200
Samples	4	4	15	4
Average	46	28	13.1	77.2
St. Dev.	4	4	2.7	5.9

Geo-Test investigated four locations (B-1 to B-4) interior and five locations (B-5 to B-9) exterior of the building pad. In review, none of the borings logged free-water, and one of the borings (B-7) was located outside of the construction footprint and was characterized as similar to the WTI relative density (correlated with N-values) and moisture characteristics (10% to 14% moisture content) referenced. Statistically, the overall mean moisture content of the Geo-Test data is 16.6% moisture with a standard deviation of 6.5. YeDoma developed subsets of the data to increase the reliability to more acceptable limits. In our review, the following trends are reported:

GeoTest 2018 Engineered fill Material (Depth 0-3')				
	LL, %	PI	Moisture Content, %	P200
Samples	5	5	6	5
Average	23	8	6.8	16.3
St. Dev.	0	1	1.5	2.2
Building Interior -Clay Material (Depth 4-9')				
	LL, %	PI	Moisture Content, %	P200
Samples	10	10	11	10
Average	43	31	22	91
St. Dev.	4.5	6	2.6	2.2

The moisture content of the clay, at the locations and date tested, were elevated based on our review of the data. The interior moisture contents were much higher than those determined by WTI in 2017 or those identified by YeDoma (Section 4.1).

Building Perimeter Clay Material (Depth 1-15')				
	LL, %	PI	Moisture Content, %	P200
Samples	10	16	16	16
Average	48	29	18.5	74
St. Dev.	8.1	5.7	4.5	12

The index properties are similar, and the information is the basis for estimating an increase in moisture of about 5-9%.



3.5 Site Photos

YeDoma reviewed site photos (Appendix B) from 2013-2014. Additional photos from the 2019 review by YeDoma are also included in the set. The photos illustrate the earthwork activities that were completed in March-April 2013 including bottom of footings. The post-construction photos from 2014 are included which illustrate the condition at the time when the building was completed. The photos from 2019 include YeDoma's observations of the distress areas sitewide.

4.0 GEOTECHNICAL INVESTIGATIONS

The geotechnical investigation included: continuous probing and sampling using dynamic probing techniques (borehole) and grab samples of stockpiles and berm material. On September 30th, 2019 YeDoma established utility stakeholders through an 811 call for the project, which included Mora-San Miguel Electric COOP Inc., Mora-San Miguel Electric COOP Inc. Subsequently, the area was cleared of power lines.

On October 4th, 2019, YeDoma coordinated with Anton Chico Elementary school principal Mrs. Erica Padilla. The field crew included senior geotechnical engineer, Jesse Reinikainen, PE, Chase Beckstead, EIT and senior technician, Scott Gandee. Mrs. Padilla provided site access and information regarding problem areas within the school grounds. YeDoma's three-person crew operated the specialized Grizzly track rig, which is equipped with a #140 hammer with a 30" drop height. The boreholes were labeled from GR-1 to GR-7, all of which were located on school grounds. Height restriction inside the building, eliminating GR-03 from the investigation program. A total of six locations were to be investigated, refer to Table 2, and the Borehole Location Map Exhibit 4 in the Appendix A. The probes are included in Appendix B. There was precipitation during the day, with about 0.2 inches logged from 9am-3pm, and intensified with about 0.4 inches logged from 3pm to 4pm (based on online source- wunderground daily weather for KNMLASVE10).

YeDoma sampled three locations within the building footprint interior (GR-01, GR-02, GR-04) to evaluate and detect anomalies in the subsurface. Samples were stored in tins and glass jars to be later used for soil classification and laboratory testing. These samples were collected at depths ranging 1 to 6 feet below the bottom of the concrete cores, through the school foundation. In addition to sampling in the school building, five concrete cores and one asphalt core were collected for visual reference of slab and pavement thickness. The material was delivered to YeDoma's laboratory in Albuquerque, New Mexico through a chain of custody work order.

Table 2 Borehole Locations

ID	Easting (Feet)	Northing (Feet)	Latitude (DD)	Longitude (DD)	Total Depth (feet)
GR-1	489197.1	3895703.2	35.20427	-105.118683	26.6
GR-2	489213.3	3895715.2	35.20438	-105.118504	26.6
GR-4	489230.1	3895736.2	35.20457	-105.118319	24.3
GR-5	489235.1	3895753.7	35.20473	-105.118265	24.6
GR-6	489179.9	3895712.9	35.20435	-105.118907	26.0
GR-7	489176.8	3895682.7	35.20409	-105.118930	25.6
Note: Easting and Northing Values projected in NAD 83 State Plane Coordinates -West Zone/Feet, Latitude and Longitude projected in NAD83 Decimal Degrees					



4.1 Laboratory Testing

Nineteen samples were collected for laboratory testing and tested for gradation, Atterberg limits, and moisture content inside the building footprint. The samples were classified based on the Unified Soil Classification System (USCS) based on ASTM D-2488, referenced in Table 3 and illustrated on the borehole logs.

Table 3 Laboratory Results.

Sample ID	Probe location	Probe Depth (feet)	LL	PI	USCS Soil Type	NM (%)	P200 (%)	P40 (%)	P10 (%)	P4 (%)
6214507	GR-1A	2'	-	-	-	6.4	-	-	-	-
6214511	GR-1A	2-3'	-	-	-	-	28.0	49	70	81
6214501	GR-1	2.5-3'	20	3	SC-SM	5.0	18.3	40	63	76
6214509	GR-1	3'	-	-	-	4.0	-	-	-	-
6214506	GR-1	3.5'	-	-	-	3.2	-	-	-	-
6214502	GR-1	4'	22	6	SC-SM	4.5	19.5	40	62	76
6214503	GR-1	4.5	-	-	-	12.3	-	-	-	-
6214505	GR-1	5.3'	-	-	-	13.8	-	-	-	-
6214510	GR-1A	6'	-	-	-	11.1	-	-	-	-
6214508	GR-1	28'	-	-	-	6.4	-	-	-	-
6214512	GR-2A	1'	-	-	-	4.2	-	-	-	-
6214513	GR-2A	1.5-2'	-	-	-	5.2	-	-	-	-
6214514	GR-2A	2'	-	-	-	6.3	-	-	-	-
6214516	GR-4	3'	-	-	-	7.5	-	-	-	-
6214517	GR-4	3'	-	-	-	7.8	-	-	-	-
6214518	GR-4	3-3.5'	-	-	-	4.3	-	-	-	-
6214519	GR-4	3.5-4'	44	26	CL	14.1	74.2	90	99	99
	NM%									
	SC-SM	CL								
Count	11	3								
Avg	5.3	12.8								
ST. Dev	1.4	1.2								

Note: P200=Material Passing #200 Sieve, P40=Passing #40 Sieve, P10=Passing #10 Sieve, P4=Passing #4 Sieve, PI=Plasticity Index, LL= Liquid Limit, NM= Natural (in-situ) Moisture Content, Soil Type is an USGS Classification

Discussion

The moisture content closely matched the pre-construction testing conducted by WTI in 2012 and moistures from WTI 2017 interior samples at the locations tested.

The moisture content at the locations tested are at-risk of increasing. The moisture-susceptible clays underneath the school pad are anticipated to increase due to the fact that clay with over 20% to saturated conditions are present adjacent to the building and there is a mounding of perched water at about 20 feet below the ground surface underneath the building pad. If an



additional increase of 10-15 percent by weight, potential for weakening of foundations and related differential settlement intensity would increase.

4.2 Geotechnical Conditions

Six probing locations (three in building interior corridor and three outside building) were conducted by YeDoma. The blow counts were logged at 0.1-meter (four inches) increments, an estimated blow /foot was calculated by multiplying the number of blows by three, as such, 1 blow = 3 blows per foot, 2 blows = six blows, etc... All six locations are plotted and summarized in Table 4 and plotted together in Figure 5.

The interior probing locations within the school building (GR-01, GR-02, and GR-04) averaged higher blow counts than exterior locations. It is noted that all the interior locations have very weak soil conditions at the interface of the fill and subgrade soils. This coincides with poor QC documentation of the bottom of fill conditions and lack of stabilization of subgrade prior to constructing the engineered fill. Probe GR-01 was in the entrance way to the school and the engineering fill in this area is irregular, with low strength characteristics compared with GR-2 and GR-3. In addition, the geomaterial from bottom of slab to a depth of ten feet were found to be much weaker in GR-1 relative to GR-2 and GR-4, as visually seen by the green reference line at 10 blows / foot on the graphs below. All three of the interior locations have low strength material near 21 feet below the finish floor, which coincides with a perched water surface at the time of investigation, free water was visually logged on the rods.

The loss of strength in the native soils is attributed to post-construction increases in moisture worsening around the perimeter footing. YeDoma logged stiff to very stiff clay layers with significantly higher blow counts (20 to 30 blows/foot) below 10 feet within the building footprint. This has been interpreted as Chinle Formation, a weathered bedrock, desiccated clay layer with higher resistance to the advancement of the rod lengths from the hammer. Standing water was present near 21 feet in all three locations, which is perched water resting on a more resistant (bedrock) layer at 25 feet below the ground surface. GR-5 is located adjacent to the exterior footing near the north corner of the school. GR-5 was anomalously low strength from the surface to 17 feet below the grade (<10 blows/foot) as the rods progressed through the soil with relative ease. Upon extraction of the rods from the borehole, highly saturated clay with free water was present along the length of the probing rods to 17 feet. GR-6 and GR-7 had low blow counts for the first 10 feet. GR-6 located under the parking lot encountered low strength material to a depth of 9 feet, free water was logged 6.9 feet below the ground surface. This was an important finding as there is subsurface water mounding which is much shallower in GR-6 and GR-7 than logged relative to GR-1, which had free water at 21 feet below the ground surface.

In summary, the perimeter probing (GR-5, GR-6, and GR-7) have anomalously low strength soils compared with pre-construction borings. There are also issues with mounding groundwater that was not identified during the WTI-2012 site investigation or subsequent investigations by WTI-2017 or Geo-Test 2018 studies. The Anton Chico School's stormwater system discharges roof drainage around the building perimeter and the water may not be conveyed offsite or there may be other reasons why water is mounding adjacent to the building pad, such as subsurface pathways related to seepage and hydrogeologic conditions related to stratified soil deposits and perched groundwater conditions. The engineering fill at GR-1 which was probed closest to the perimeter has the lower strength of fill relative to GR-2 and GR-4. The understanding is that



moisture susceptible materials are initially heaving due to the expansion potential of the material, however, as the moisture content increases, the soils weaken and prone to settlement. This is observed in the floor level study, where both positive and negative variations in vertical elevation were reported. The area where the negative variation (settlement) occurred closest to the pooling water at the north side of the site.

Figure 5 Dynamic probing logs with reference line at 10 blows/foot

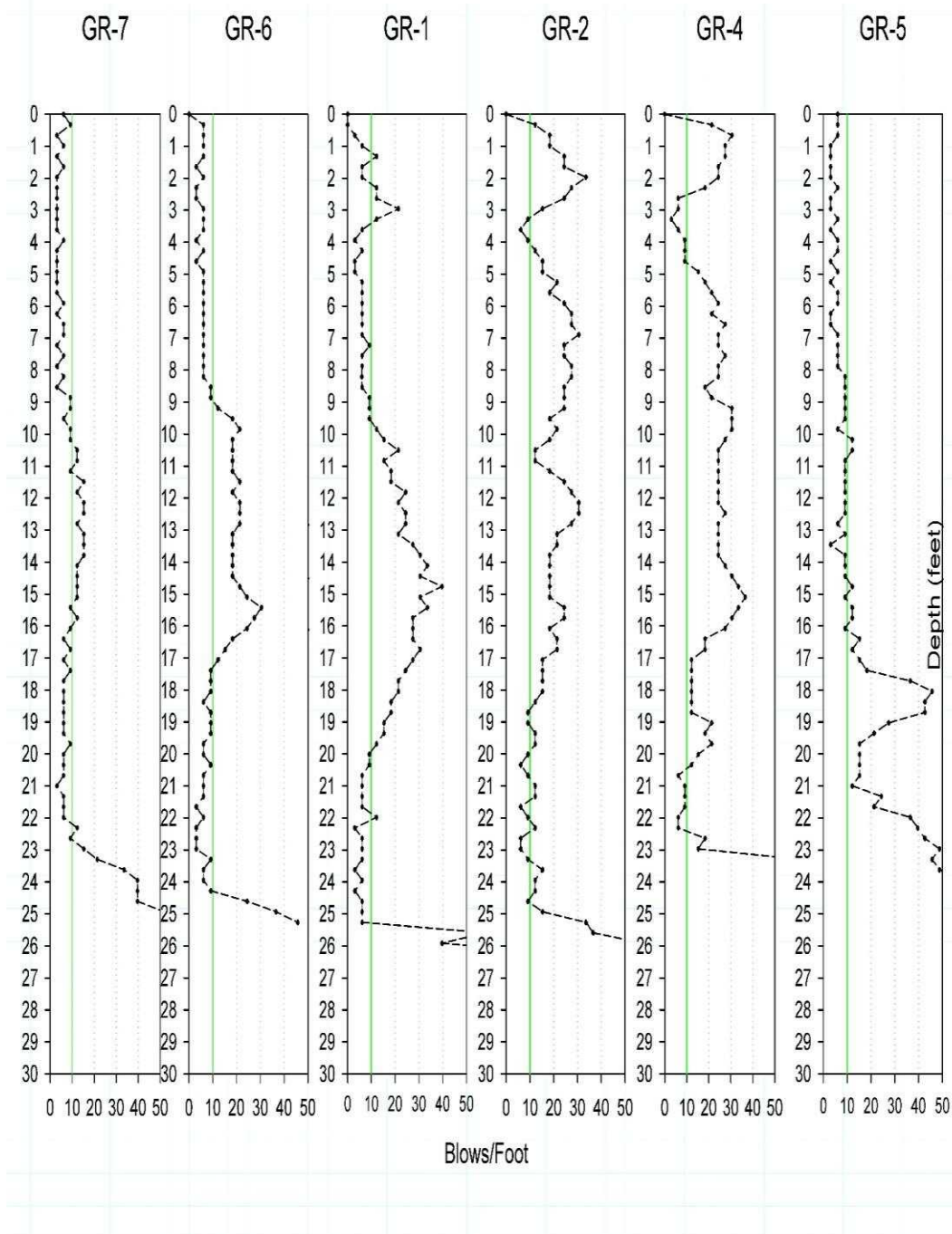




Table 4 Summarized DCPSH Logs

YEDOMA (2019)		Blows (0.1m)	Blows/Foot				
INTERIOR AND EXTERIOR DATA SET	SAMPLES	467	15				
	AVG	5.1					
	STD. DEV	4.2					
YeDoma Correlated Table from Anton Chico DCP-SH Data: BLOWS/FOOT							
INTERIOR- ALL DATA	SAMPLES	235	18	EXTERIOR-ALL DATA	SAMPLES	232	13
	AVG	6.0			AVG	4.2	
	STD. DEV	3.9			STD. DEV	4	
INTERIOR FILL	SAMPLES	25	18	ENGINEERING FILL NOT ENCOUNTERED IN EXTERIOR PROBING			
	AVG	6.1					
	STD. DEV	2.7					
INTERIOR CLAY1	SAMPLES	60	15	EXTERIOR CLAY1	SAMPLES	80	5
	AVG	4.8			AVG	1.7	
	STD. DEV	2.8			STD. DEV	0.6	
INTERIOR CLAY2	SAMPLES	80	23	EXTERIOR CLAY2	SAMPLES	74	14
	AVG	7.8			AVG	4.5	
	STD. DEV	1.9			STD. DEV	1.8	
INTERIOR CLAY3	SAMPLES	58	10	EXTERIOR CLAY3	SAMPLES	43	7
	AVG	3.3			AVG	2.3	
	STD. DEV	1.4			STD. DEV	0.7	
INTERIOR BEDROCK	SAMPLES	9	55	EXTERIOR BEDROCK	SAMPLES	17	48
	AVG	18.4			AVG	15.9	
	STD. DEV	5.6			STD. DEV	4.8	

Discussion:

In our findings, interior borings determined the depth of engineered fill to be about 3.5 feet on the southeastern entrance of the school, about 3 feet at GR-02 and 2.5 feet at GR-04. Continuous probing is the basis for determining in-situ densities described as medium to highly dense (10 to 20 blows/ foot). This is consistent with the existing contours included on the as-built construction plans. Underlying the Silty Sand (SM) backfill is clay subunit soils, which are soft/medium in the in-situ state. We characterize the soil as soft to medium consistency / low to medium density clay (7-18 blows/ foot). These low-strength soils are typically about 10 to 15 feet in thickness. Overall, the facility has an elevated risk of settlement induced distress, which is evident by distress cracks located in on the northern side of the school building. As the engineered fill is more permeable than native subgrade clay material, moisture is expected to spread laterally preferentially along pathways at the base of the fill, which flows from north to south, and slowly will begin increasing the moisture content of the native foundation soils. At the soil interface of the fill and native material, the blow counts decrease sharply, as illustrated in Figure 5.

4.3 Site Surface/Subsurface Drainage Condition Assessment

Surface and subsurface flow through the facility is directional, initiating from the north-northeast with conveyance to the south-southwest. The building axis is skewed to the northeast, which means moisture intrusion into the subsurface already has natural pathways initiating at the north side of the building (Kindergarten Labs) will follow dipping strata to the south-southwest. We



consider the north side of the building to be critical for sealing off moisture as an emergency measure. We identified this to be the area of the site that ponds water up against the building. In discussions with the School, water enters from the exterior wall into the building, and ponding has been documented inside two of the kindergarten classrooms which raises an environmental health and safety issue. Ponding of water along the northern wall between the portable and Kindergarten Learning Lab Rooms 142, 133, and 134 was documented on October 4th, issues with water seeping into the building were evident, refer to Photos 6 and 7.



Photo 6 North side of building ponding water



Photo 7 Water Streaming into Learning Lab Room 133

5.0 CONCLUSIONS

YeDoma completed our research and subsurface investigation. We reviewed site documents, construction history and probed six locations of the site on October 4th, 2019. The design of the school foundation system was contingent on in-situ moisture conditions, (as determined in 2012) and the design had a caveat that subsurface moisture conditions could not change over the design life of the structure. In the first five years, the moisture did increase around the perimeter footings, ponding and local saturation were noted during our subsurface investigation in October 2019. The clay subgrade soils are susceptible to volume change upon wetting which has led to interior damage along the walls and jamming of windows and doors at the facility; uneven surfaces are a sitewide issue. As perched water is mounding, there is an immediate need for remedial stabilization and site drainage improvements.

The native soils are susceptible to loss of shear strength upon wetting. In this area, the active layer is about twenty feet deep, the shallow foundation system was not designed for excessive swell pressures that occur upon incremental increases in moisture content of the native soils. The shear strength of foundation soils continues at the Anton Chico School, expansive soils and

twenty feet of poor subgrade soils at the site have been the culprit for site distress along with drainage deficiencies. The poor subgrade conditions led to both swell expansion and settlement upon wetting on a sitewide basis. Independently evaluating the site conditions, we observed locations of anomalously weak subgrade material and shallow groundwater. At the north corner of the facility, there is a drainage issue. Ponding has led to saturated ground conditions, and settlement of the building ensued. On the day of our investigation, stormwater was viewed migrating into a classroom. Overall, the foundation system has been susceptible to shifting ground conditions, exacerbated during light to moderate rain events.

5.1 Foundation Conditions

Typically, shallow and deep foundations are evaluated in the design process, whereby an appropriate foundation system is selected. In IBC 2009, Section 1808.6.1 Foundations, there are provisions for characterizing and mitigating expansive soils, such that the foundation is designed to resist differential volume changes and to prevent structural damage to the supported structure. The design code specifies that foundations constructed in areas with expansive soils should be investigated sufficiently to evaluate the depth in which moisture variations are constant, sometimes referred to as an active layer. In our investigation, we estimate that the depth of the active layer is about 23 feet below the ground surface. At the site, the existing contours sloped gently from the northwest to the southeast. It is noted that sheet flow from surface runoff, the stormwater system, drainage plans, landscaping and planter boxes could lead to moisture variations. At the site, small increases in moisture into the soils triggers an expansive behavior, while larger increases in moisture content is directly related to loss of shear strength of the soil, as well as potential for degradation of the soil fabric (dissolving the gypsum minerals in the clay and claystone strata) and inducing potentially large settlement. Locally, the natural moisture content has increased over ten percent in the last five years, with differential distress settlement reported at 4.8" within the building footprint. The soils have a liquid limit which ranges from 30-60% moisture, the subsurface material is at-risk, as the soil behavior will continue to undergo volume changes with increasing moisture content, potentially exceeding threshold limits for the facility, with demolition a potential outcome, if remedial action is not immediately put into place.

Groundwater was not identified in the subsurface drilling by WTI or Geo-Test and bedrock was not presented in our review of the reports. The hydrogeologic system is complicated at this site, YeDoma identified free water on the surface of our rods and anomalously low strength material in areas that were previously investigated as very stiff to hard clay strata.

5.2 Drainage

Site drainage and stabilization upgrades are recommended to address the deficiencies outlined in this report. Stabilizing the foundation soils is recommended to limit distress cracking at the site. YeDoma evaluated the site drainage conditions during a storm event and noted deficiencies in the stormwater drainage system. At GR-05, water was documented ponding next to the north corner of the building. In the subsurface at this location, anomalously low blow counts were recorded to depths of seventeen feet. This area of the building has settled due to the loss of shear strength of foundation soils. Water is not being conveyed properly sitewide, notably deficient around the building's perimeter. Provisions for re-design of the stormwater system should be considered.



6.0 RECOMMENDATIONS

YeDoma recommends improving the foundation system at the site. The groundwater mounding underneath the school site, increasing moisture around the perimeter and shear strength loss of native soils have led to distress at the site. The foundation system was not designed for the variations in moisture that have occurred. We recommend that the school consider securing funding needed to stabilize the foundation system, as continued structural distress has potential to render the building unsafe for occupants. Remedial work is needed to address not only the foundation system, it should also address the drainage deficiencies which have led to wetting of soils adjacent to the building. In our experience, grout injection around the perimeter footings and isolated interior footings could be an effective solution to mitigate weak native soils. The injection of grout columns is one of several options for stabilizing the foundation soils in-situ, which also compacts the material laterally between the columns. The depth of remedial foundation stabilization work should extend to a depth of about twenty to twenty-five feet or below the depth of constant moisture (below the active layer). The sitewide improvements should include remediating the water tank foundation. The remedial workplan needs to address deficiencies in the facility stormwater system and improved to ensure positive flow away from the entire building footprint. There are advanced methods for capturing stormwater and conveying flow away from buildings, we recommend evaluating alternatives that provide redundancy with respect to limiting seepage into the facilities foundation soils. One method for cutting off subsurface drainage paths is a perimeter (northwest to northeast alignment) deep interceptor trench with perforated piping which daylight southeast of the school site. Addressing the native clay soils beneath the walkways to mitigate potential for uneven surfaces and spreading of construction joints in concrete should be part of the remedial workplan. Once stabilization is complete, repairs of cracks and adjusting windows and doors is recommended.

7.0 LIMITATIONS

This report is intended solely for the use by PFSA in the context of the express purpose for which it has been delivered. The scope of work included geotechnical testing and probing, with subsurface information limited to the location and date tested. YeDoma warranty is limited to the quality of our report. Our conclusions are based on the information made available to the project team. Recommendations are based on accepted professional engineering principles and practices. Any other use or reliance on this document by any third party is at that party's sole risk and responsibility.

8.0 REFERENCES

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eBuilder construction management files- P12-010 Rita Marquez Elementary / Anton Chico Elementary

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Web Soil Survey website (<https://websoilsurvey.sc.egov.usda.gov>)

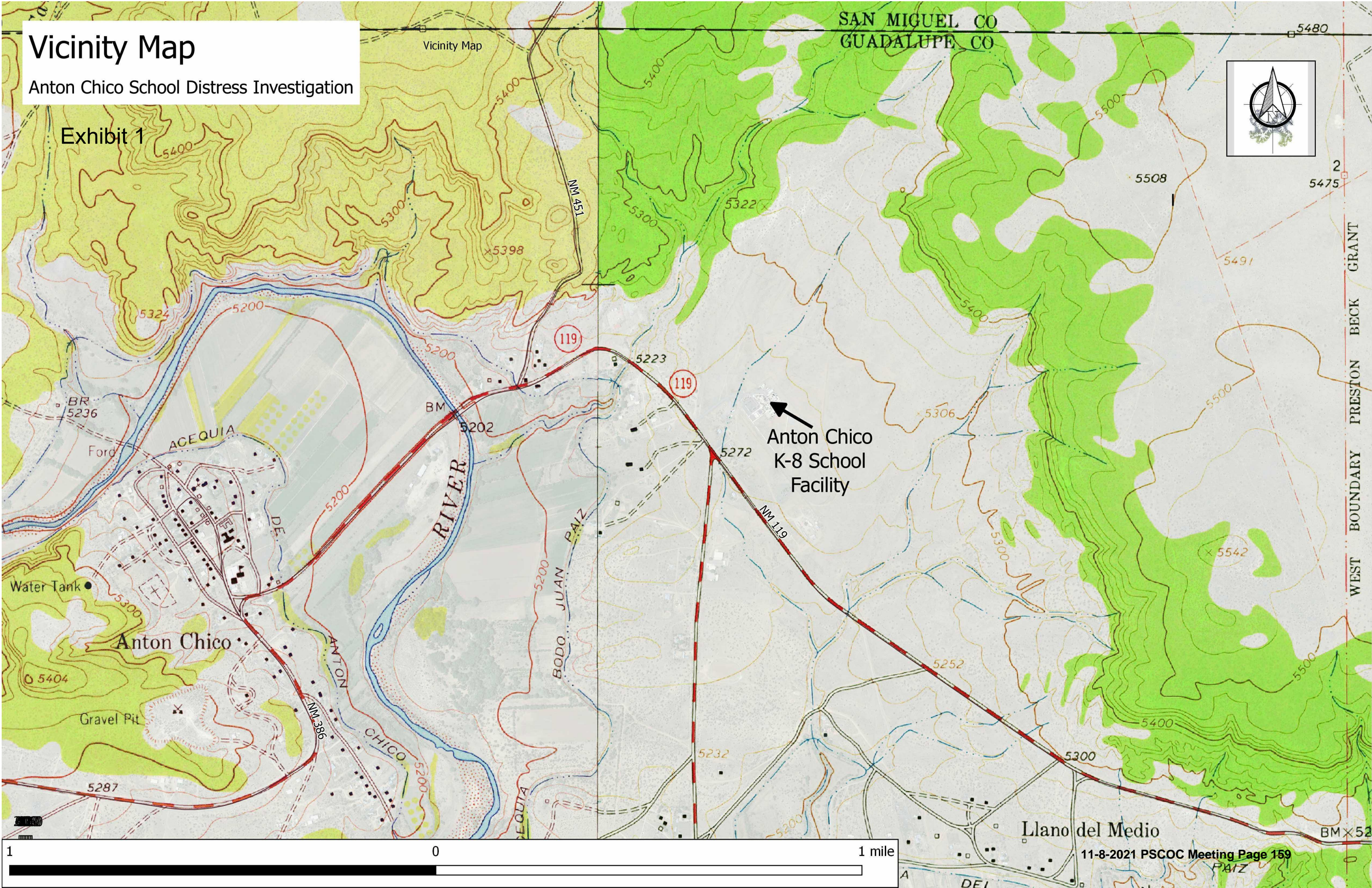
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Appendix A: YeDoma Exhibits

Vicinity Map

Anton Chico School Distress Investigation

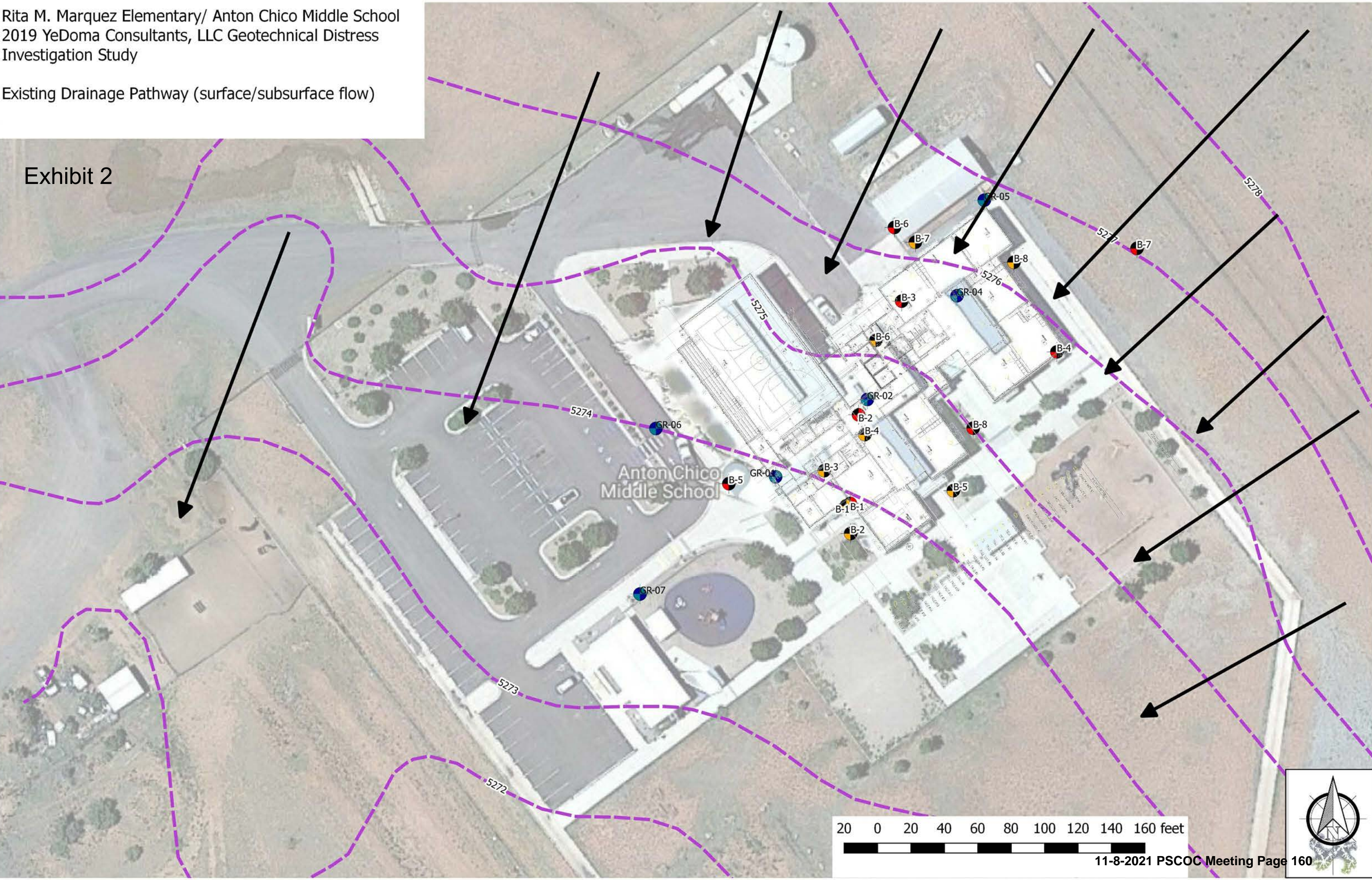
Exhibit 1



Anton Chico
K-8 School
Facility

Existing Drainage Pathway (surface/subsurface flow)

Exhibit 2



Drainage Pathways Legend

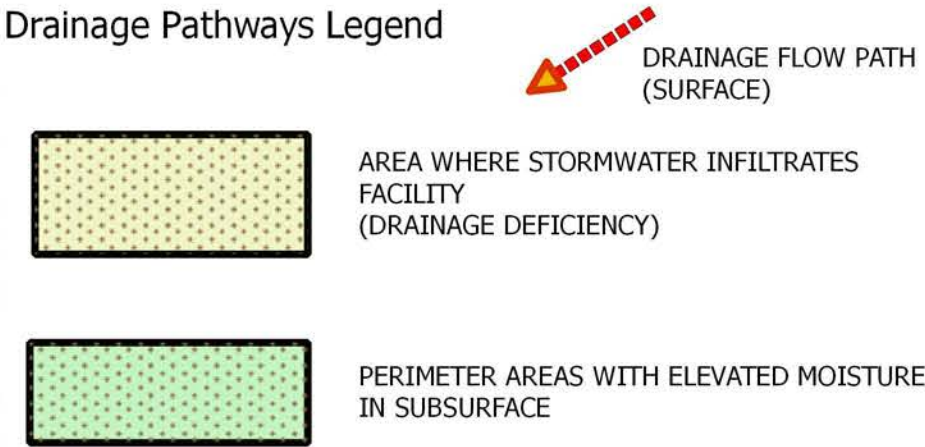
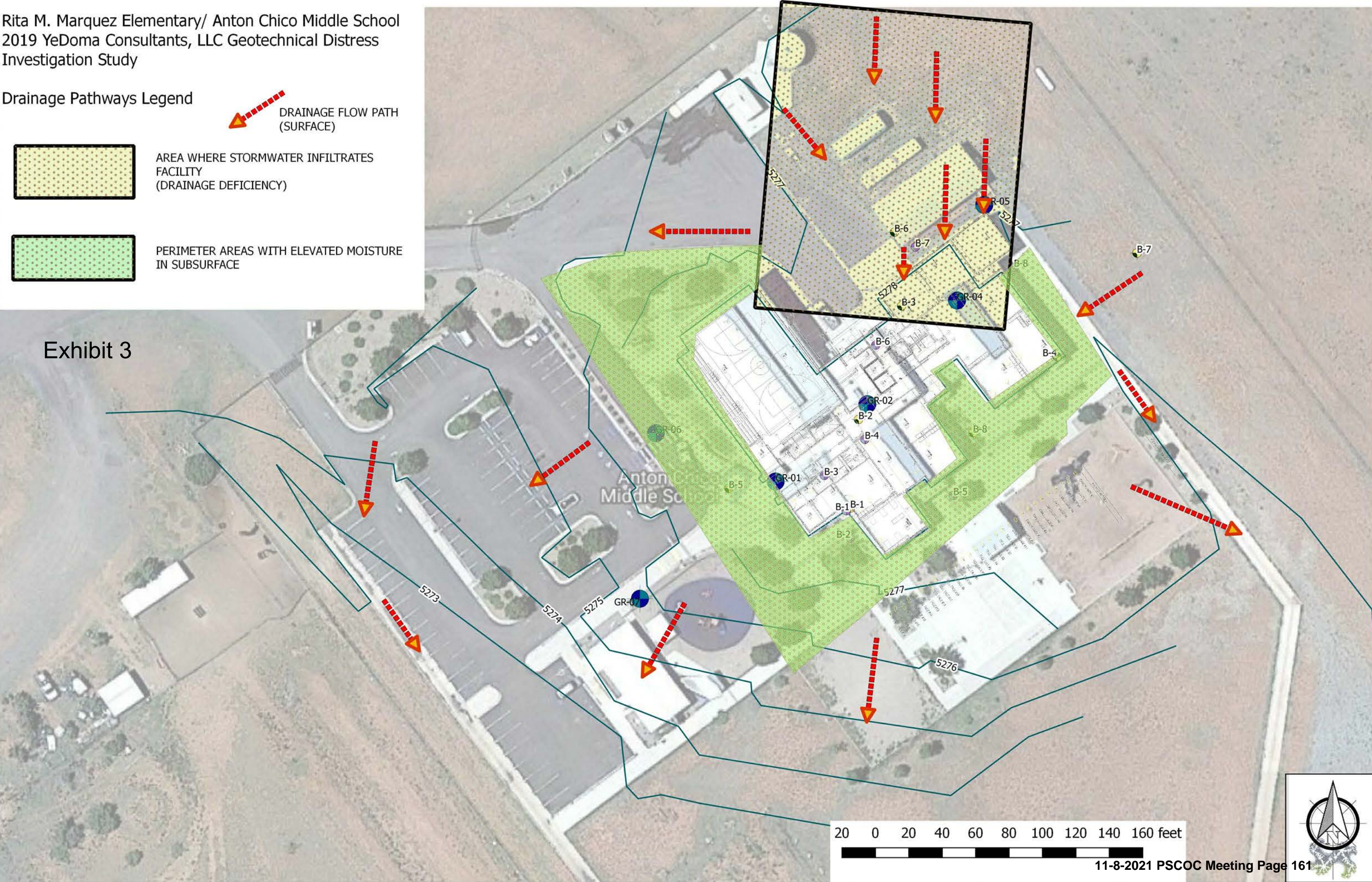


Exhibit 3





Appendix B: Lab Testing, Probing Logs

Client: Public School Facilities Authority
Project: Rita M. Marquez Elementary/ Anton
Location: Vestible (Rm#101)



Easting (NAD83-UTM): 489197.1
Northing (NAD83-UTM): 3895703.2
Elevation (ft): 5278
Borehole Depth (feet): 26.6

Project Number: 62145

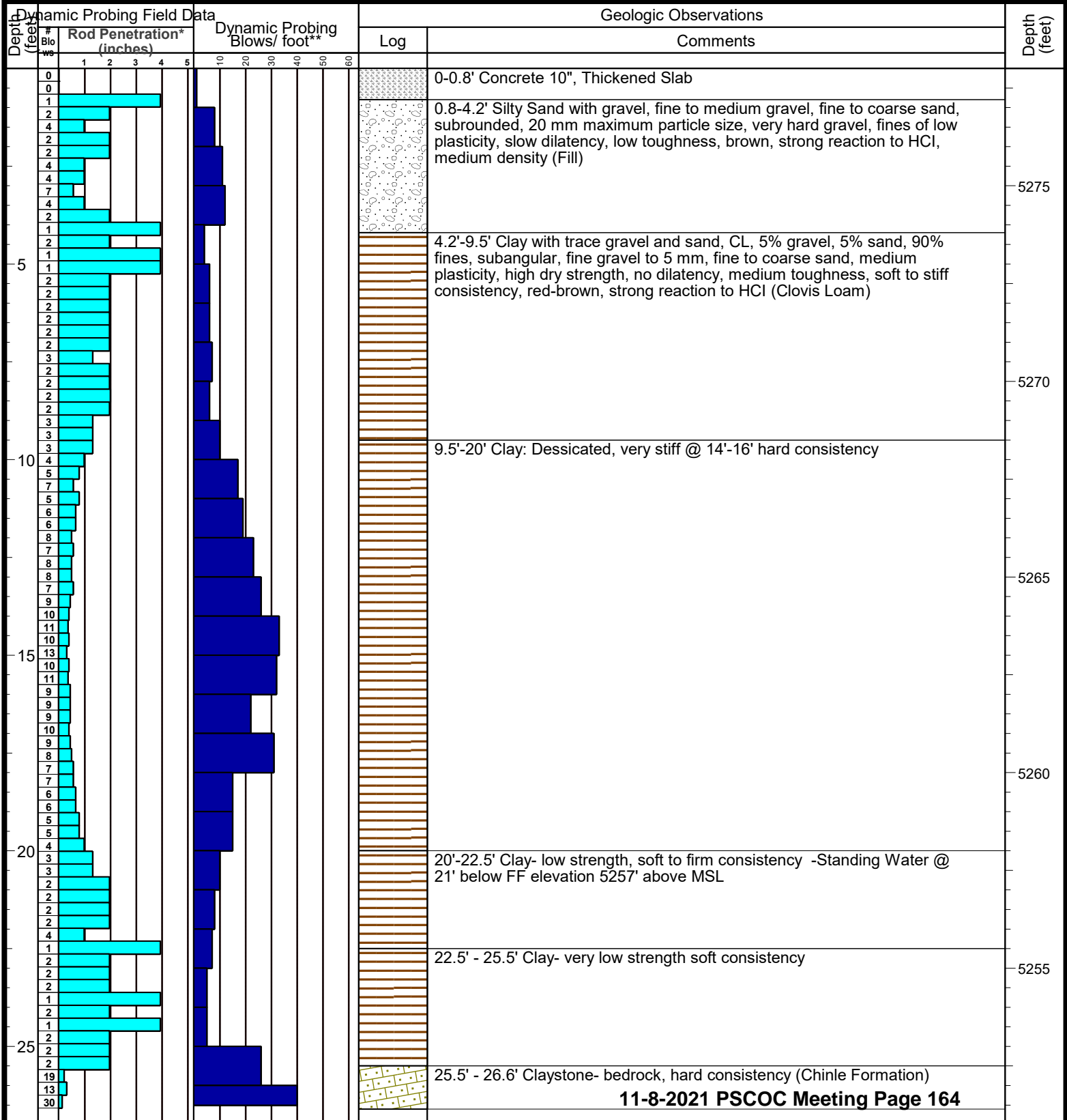
DCPSH Log GR-01

Date Drilled: 10/4/2019

Groundwater Depth (Feet): 21

Logged By: J. Reinikainen

NOTE: Dynamic Cone Penetrometer with Super Heavy Weight Automatic Hammer (DCPSH Method)
 # Blows and Rod Penetration Recorded in Field in Four-Inch Increments
***Rod penetration is the average displacement (per blow) in 4-inch increments**
****Blows/foot is summary of blows per each foot, DCPSH Automatic 140-lbf Hammer- falling 30"**



Client: Public School Facilities Authority
Project: Rita M. Marquez Elementary/ Anton
Location: Corridor (Rm# 102)



Easting (NAD83-UTM): 489213.3
Northing (NAD83-UTM): 3895715.2
Elevation (ft): 5278
Borehole Depth (feet): 26.6

Project Number: 62145

DCPSH Log GR-02

Date Drilled: 10/4/2019

Groundwater Depth (Feet): 21.8

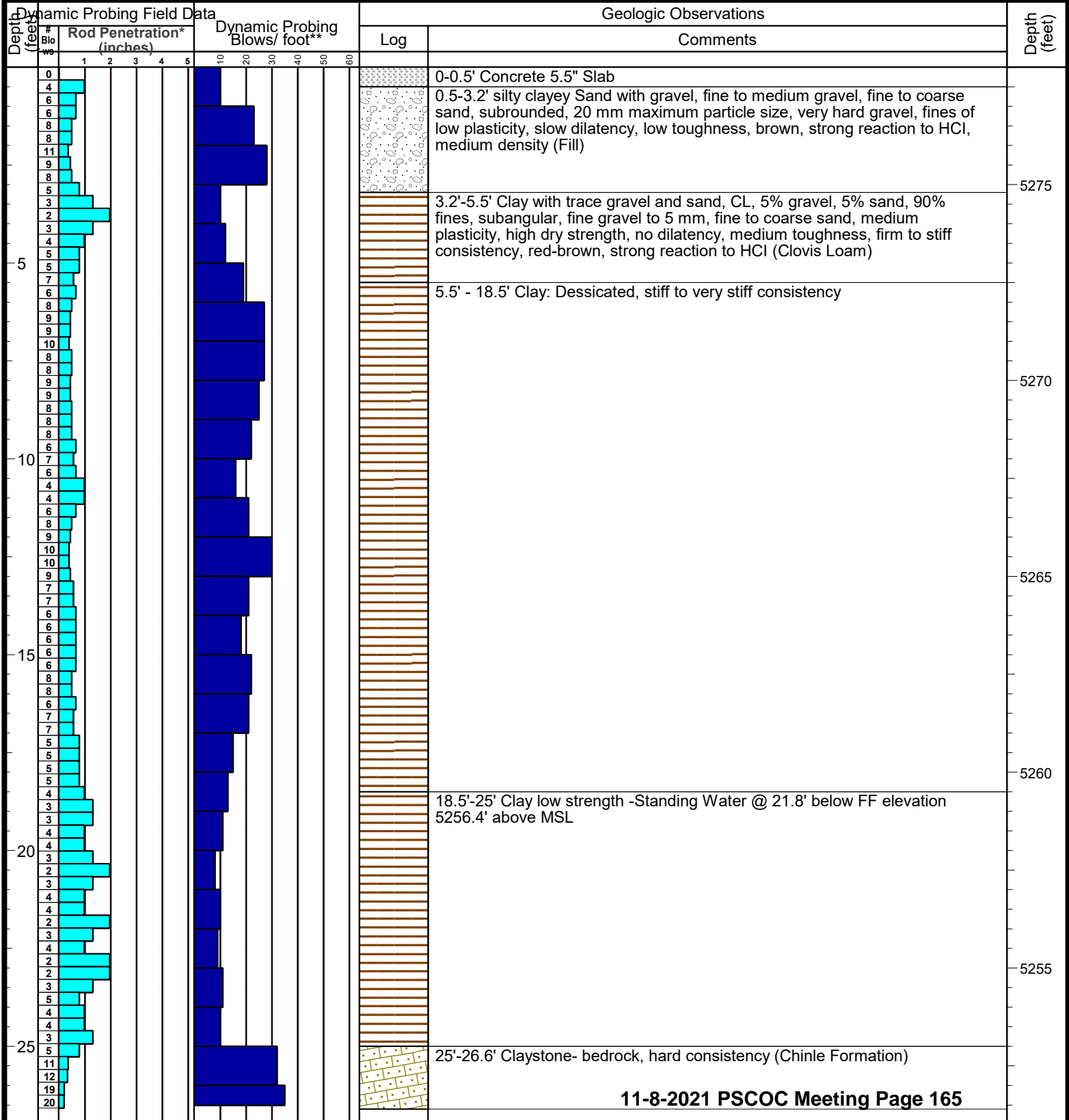
Logged By: J. Reinikainen

NOTE: Dynamic Cone Penetrometer with Super Heavy Weight Automatic Hammer (DCPSH Method)

Blows and Rod Penetration Recorded in Field in Four-Inch Increments

***Rod penetration is the average displacement (per blow) in 4-inch increments**

****Blows/foot is summary of blows per each foot, DCPSH Automatic 140-lbf Hammer- falling 30"**



Client: Public School Facilities Authority
Project: Rita M. Marquez Elementary/ Anton
Location: Elementary Sala (Rm#128)



Easting (NAD83-UTM): 489230.1
Northing (NAD83-UTM): 3895736.2
Elevation (ft): 5278
Borehole Depth (feet): 24.3

Project Number: 62145

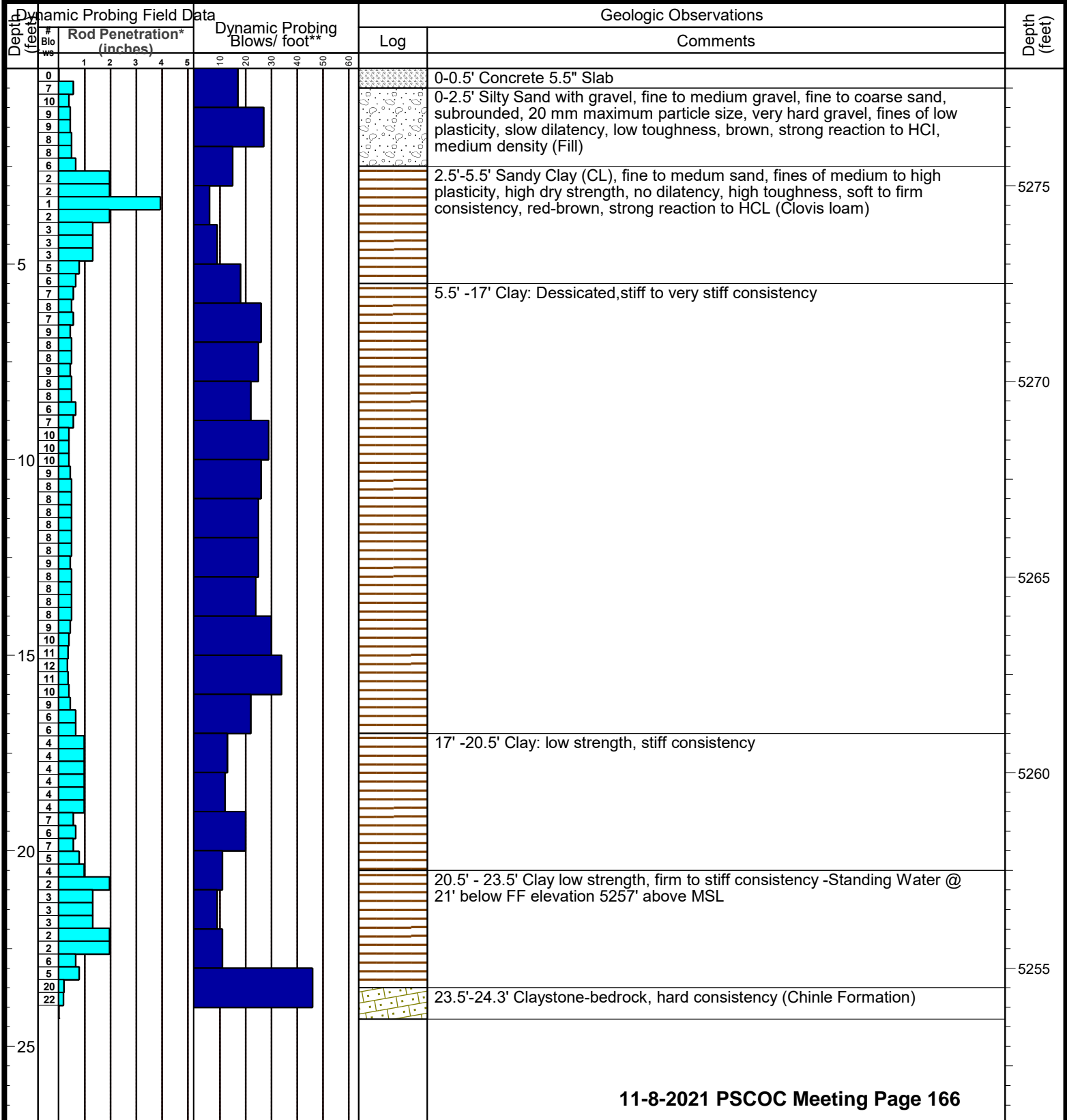
Date Drilled: 10/4/2019

Groundwater Depth (Feet): 21.0

Logged By: J. Reinikainen

DCPSH Log GR-04

NOTE: Dynamic Cone Penetrometer with Super Heavy Weight Automatic Hammer (DCPSH Method)
 # Blows and Rod Penetration Recorded in Field in Four-Inch Increments
***Rod penetration is the average displacement (per blow) in 4-inch increments**
****Blows/foot is summary of blows per each foot, DCPSH Automatic 140-lbf Hammer- falling 30"**



Client: Public School Facilities Authority
Project: Rita M. Marquez Elementary/ Anton
Location: Portable (NW of Learning Lab)



Easting (NAD83-UTM): 489235.1
Northing (NAD83-UTM): 3895753.7
Elevation (ft): 5278
Borehole Depth (feet): 24.6

Project Number: 62145

DCPSH Log GR-05

Date Drilled: 10/4/2019

Groundwater Depth (Feet): UNK

Logged By: J. Reinikainen

NOTE: Dynamic Cone Penetrometer with Super Heavy Weight Automatic Hammer (DCPSH Method)
 # Blows and Rod Penetration Recorded in Field in Four-Inch Increments
***Rod penetration is the average displacement (per blow) in 4-inch increments**
****Blows/foot is summary of blows per each foot, DCPSH Automatic 140-lbf Hammer- falling 30"**

Dynamic Probing Field Data										Geologic Observations		Depth (feet)		
Depth (feet)	# Blows	Rod Penetration* (inches)				Dynamic Probing Blows/foot**							Log	Comments
		1	2	3	4	5	10	20	30	40	50			
5	2												0-8' Sandy Clay (CL) with some gravel, fine to medum sand, fines of medium to high plasticity, high dry strength, no dilatency, high toughness, soft to firm consistency, red-brown, strong reaction to HCL (Clovis loam)	5275
	2													
	2													
	1													
	1													
	1													
	1													
	2													
	1													
	1													
10	2												8'-17.6' Clay: low strength, stiff consistency	5270
	2													
	2													
	2													
	2													
	3													
	3													
	3													
	3													
	3													
15	2												Clay: Dessicated, very stiff to hard consistency	5265
	4													
	4													
	3													
	3													
	3													
	3													
	3													
	3													
	2													
20	3												Clay: stiff to very stiff consistency	5260
	1													
	3													
	3													
	3													
	4													
	3													
	5													
	4													
	5													
25	6												22'-24.6' Claystone-bedrock, hard consistency (Chinle Formation)	5255
	12													
	15													
	14													
	9													
	7													
	5													
	5													
	5													
	4													

11-8-2021 PSCOC Meeting Page 167

Client: Public School Facilities Authority
Project: Rita M. Marquez Elementary/ Anton
Location: Asphalt Loop Drive



Easting (NAD83-UTM): 489179.9
Northing (NAD83-UTM): 3895712.9
Elevation (ft): 5277.5
Borehole Depth (feet): 25.9

Project Number: 62145

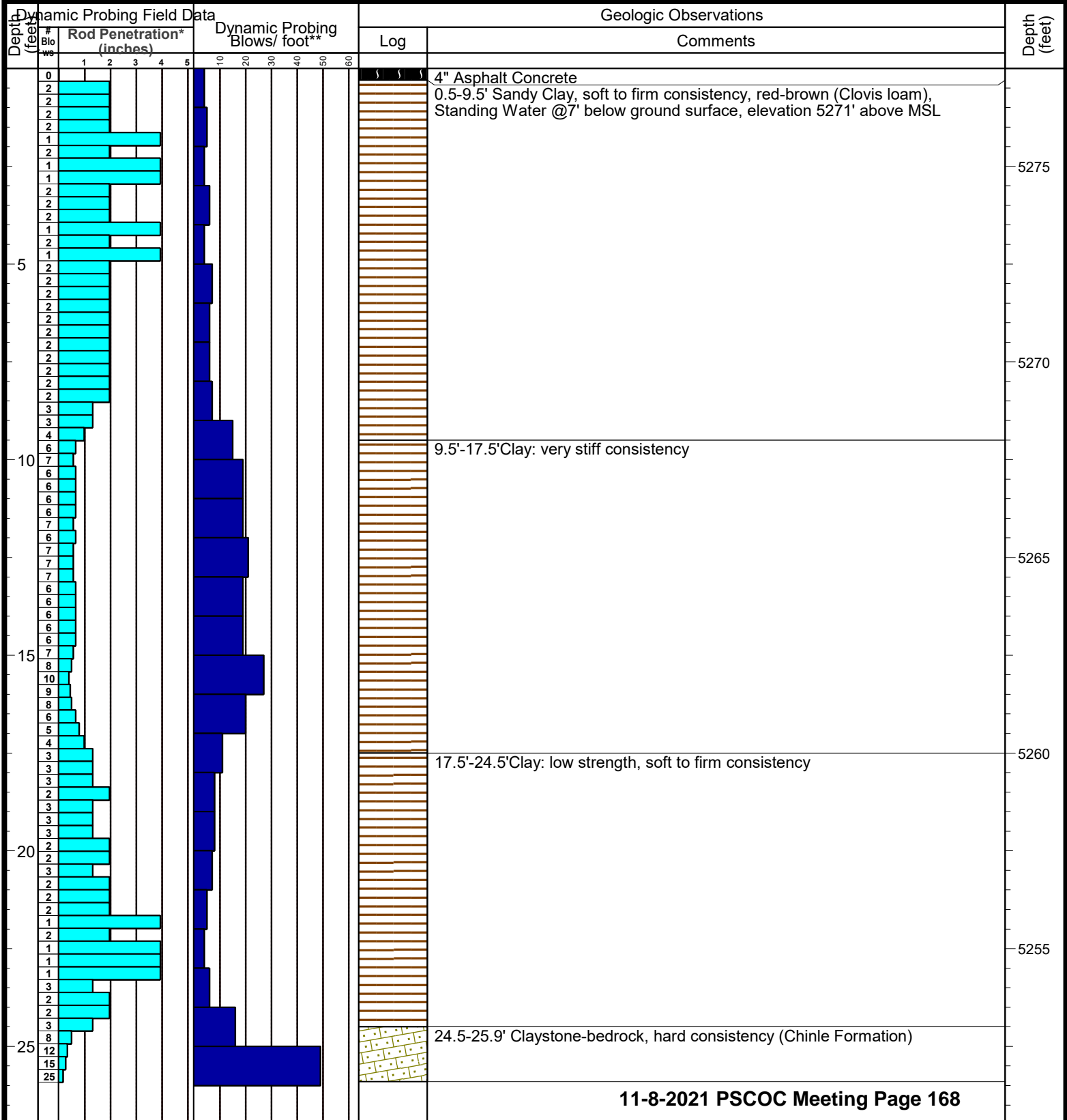
DCPSH Log GR-06

Date Drilled: 10/4/2019

Groundwater Depth (Feet): 6.9

Logged By: J. Reinikainen

NOTE: Dynamic Cone Penetrometer with Super Heavy Weight Automatic Hammer (DCPSH Method)
 # Blows and Rod Penetration Recorded in Field in Four-Inch Increments
***Rod penetration is the average displacement (per blow) in 4-inch increments**
****Blows/foot is summary of blows per each foot, DCPSH Automatic 140-lbf Hammer- falling 30"**



Client: Public School Facilities Authority
Project: Rita M. Marquez Elementary/ Anton
Location: Sidewalk



Easting (NAD83-UTM): 489176.8
Northing (NAD83-UTM): 3895682.7
Elevation (ft): 5276
Borehole Depth (feet): 25.6

Project Number: 62145

DCPSH Log GR-07

Date Drilled: 10/4/2019

Groundwater Depth (Feet): 12.5

Logged By: J. Reinikainen

NOTE: Dynamic Cone Penetrometer with Super Heavy Weight Automatic Hammer (DCPSH Method)

Blows and Rod Penetration Recorded in Field in Four-Inch Increments

*Rod penetration is the average displacement (per blow) in 4-inch increments

**Blows/foot is summary of blows per each foot, DCPSH Automatic 140-lbf Hammer- falling 30"

Dynamic Probing Field Data		Geologic Observations		Depth (feet)
Depth (feet)	Rod Penetration* (inches)	Dynamic Probing Blows/foot**	Log	
0-9'			Clay: low strength, soft to firm consistency	5275
9'-16.5'			Clay: stiff consistency, -Standing Water @12.5' below ground surface, elevation 5267' above MSL	5265
16.5'-23.5'			Clay: low strength, soft to firm consistency	5260
23.5'-25.5'			Claysone-bedrock, hard consistency (Chinle Formation)	5255
25.5'-25.6'				5250



Report Date: 10/16/2019

Standard Test Methods for Laboratory Determination of Water (Moisture) Content of Soil and Rock by Mass (ASTM D2216 - 19)

Project Name: Anton Chico Elementary
Location: La Loma, NM
Client:

Project Number: 62145

Sampled By: Jesse R.
Date Sampled: 10/4/2019

Tested By: Chase B.
Test Date: 10/7/2019

Sample #	Sample Location	Material Type	Test Method	Oven Temp. (C)	Moisture (%)
6214501	B-1 at 2.5-3'	SC-SM	B	110	5.0
6214502	B-1 at 4'	SC-SM	B	110	4.5
6214503	B-1 at 4.5'	-	B	110	12.3
6214504	B-1 at 5'	-	B	110	9.4
6214505	B-1 at 5.3'	-	B	110	13.8
6214506	B-1A at 3.5'	-	B	110	3.2
6214507	B-1A at 2'	-	B	110	6.4
6214508	B-1 at 28'	-	B	110	6.4
6214509	B-1A at 3'	-	B	110	4.0
6214510	B-1A at 6'	-	B	110	11.1
6214512	B-2A at 1'	-	B	110	4.2
6214513	B-2A at 1.5-2'	-	B	110	5.2
6214514	B-2A at 2'	-	B	110	6.3
6214515	B-2A at 2-3'	-	B	110	2.5
6214516	B-4 at 3'	-	B	110	7.5
6214517	B-4 at 3'	-	B	110	7.8
6214518	B-4 at 3-3.5'	-	B	110	4.3
6214519	B-4 at 3.5-4'	CL	B	110	14.1

Notes:

Reviewed By: Jesse Reinikainen, PE



Report Date:	10/14/2016	Sample Date:	10/4/2019	Test Method:	
Project Location:	Anton Chico	Sample By:	Jesse R.	AASHTO T 89-13 (2017)	
Project No.	62145	Test Date:	10/8-10/15	AASHTO T 90-16	
Report No.	1	Tested By:	Jesse R.		

Liquid Limit**Method:** A

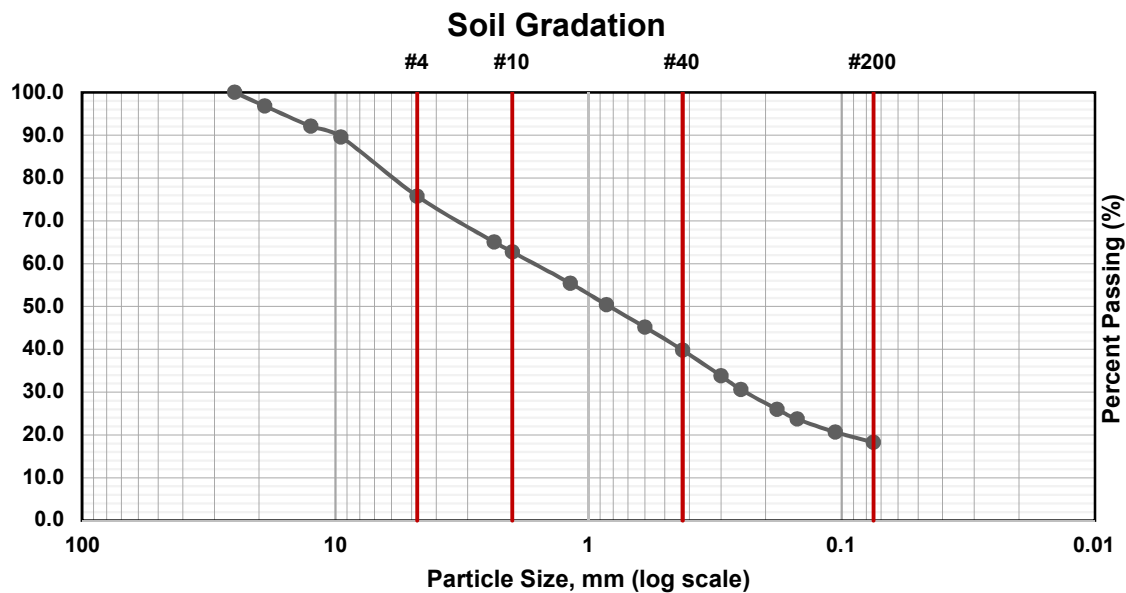
Sample ID:	Sample Location	AASHTO	Liquid limit	Plastic limit	PI
6214501	B-1 at 2.5-3' BG	A-1-b	20	17	3
6214502	B-1 at 4' BG	A-1-b	22	16	6
6214503	B-1 at 4.5' BG	-	34	17	17
6214504	B-1 at 5' BG	-	40	18	22
6214505	B-1 at 5.3' BG	-	42	19	23
6214506	B-1 at 3.5' BG	-	20	17	3
6214510	B-1A at 6' BG	-	45	16	29
6214512	B-2A at 1' BG	-	31	15	16
6214513	B-2A at 1.5-2' BG	-	26	14	12
6214515	B-2A at 2-3' BG	-	20	16	4
6214519	B-4 at 3.5-4' BG	A-7-6	44	18	26

Deviations/Notes:**Reviewed By:** Jesse Reinikainen, PE



Report Date: 10/16/2019	Sample Date: 10/4/2019	Station: B-1
Project Location: La Loma	Sample By: Chase B.	Location: Anton Chico Elementary
Project No. 62145	Test Date: 10/14/2019	Source: 2.5-3' BG
Report No. 1	Tested By: Jesse R.	
Soak Time: 2 Hours	Sample Prep Method: Oven-dried	Test Method: ASTM D6913-04
Dispersion Process: <input type="checkbox"/> Ultrasonic bath <input type="checkbox"/> Shaking Apparatus <input checked="" type="checkbox"/> None		

Sample: 6214501

**Gradation****ASTM D2487 Classification:**

Group Name: Silty, clayey sand with gravel

Group Symbol: SC-SM

Shape Parameters: C_u : 0.42 C_c : 26.67**AASHTO Classification - ASTM D3282-15:**

Group Classification: A-1-b

 D_{60} : 2.0 D_{30} : 0.250 D_{10} : 0.075**Atterberg Limits: ASTM D4318-17**

Liquid Limit: 20

Plastic Limit: 17

Plasticity Index: 3

Sieve Size % Passing

1 1/2"

1" 100

3/4" 97

1/2" 92

3/8" 90

#4 76

#8 65

#10 63

#16 55

#20 50

#30 45

#40 40

#50 34

#60 31

#80 26

#100 24

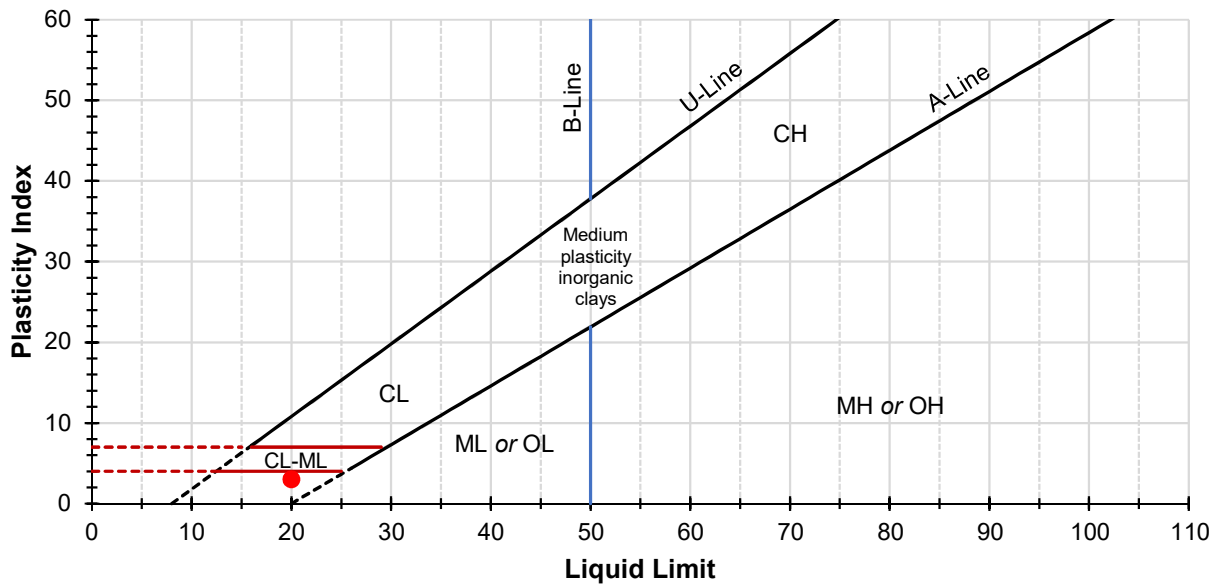
#140 21

#200 18.3



Report Date: 10/16/2019	Sample Date: 10/4/2019	Station: B-1
Project Location: La Loma	Sample By: Chase B.	Location: Anton Chico Elementary
Project No. 62145	Test Date: 10/14/2019	Source: 2.5-3' BG
Report No. 1	Tested By: Jesse R.	
Soak Time: 2 Hours	Sample Prep Method: Oven-dried	Test Method: ASTM D6913-04
Dispersion Process: <input type="checkbox"/> Ultrasonic bath <input type="checkbox"/> Shaking Apparatus <input checked="" type="checkbox"/> None		

Plasticity Chart



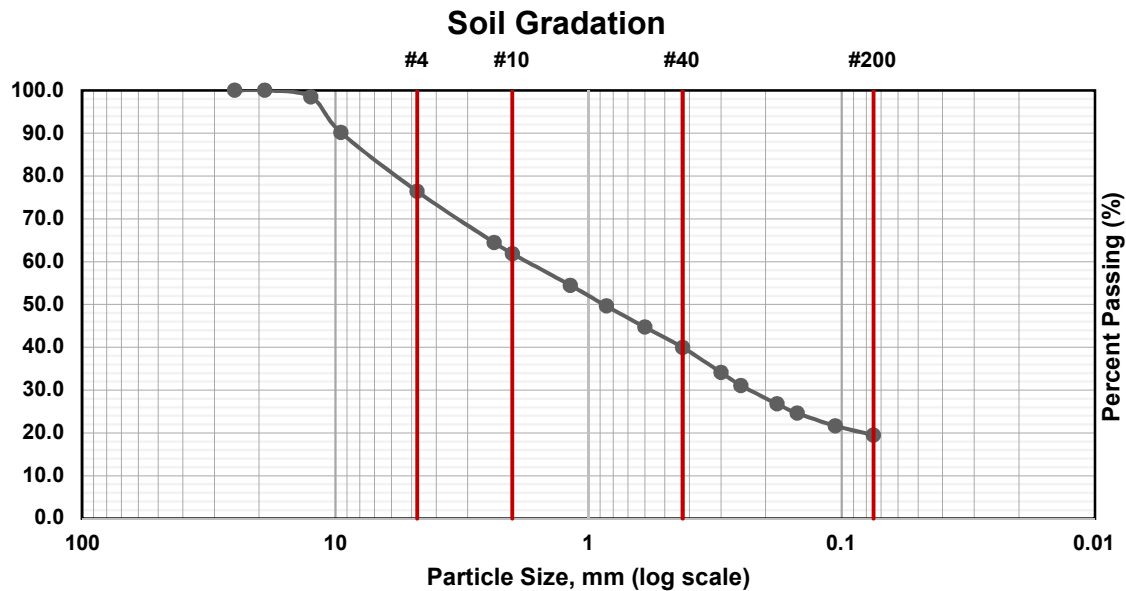
Deviations/Notes:

Reviewed By: Jesse Reinikainen, PE



Report Date: 10/16/2019	Sample Date: 10/4/2019	Station: B-1
Project Location: La Loma	Sample By: Chase B.	Location: Anton Chico Elementary
Project No. 62145	Test Date: 10/14/2019	Source: 4' BG
Report No. 2	Tested By: Jesse R.	
Soak Time: 2 Hours	Sample Prep Method: Oven-dried	Test Method: ASTM D6913-04
Dispersion Process: <input type="checkbox"/> Ultrasonic bath <input type="checkbox"/> Shaking Apparatus <input checked="" type="checkbox"/> None		

Sample: 6214502

**Gradation****ASTM D2487 Classification:**

Group Name: Silty, clayey sand with gravel

Group Symbol: SC-SM

Shape Parameters: C_u : 0.42 C_c : 26.67**AASHTO Classification - ASTM D3282-15:**

Group Classification: A-1-b

 D_{60} : 2.0 D_{30} : 0.250 D_{10} : 0.075**Atterberg Limits: ASTM D4318-17**

Liquid Limit: 22

Plastic Limit: 16

Plasticity Index: 6

Sieve Size % Passing

1 1/2"

1"

3/4"

100

1/2"

98

3/8"

90

#4

76

#8

64

#10

62

#16

54

#20

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#30

45

#40

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#50

34

#60

31

#80

27

#100

25

#140

22

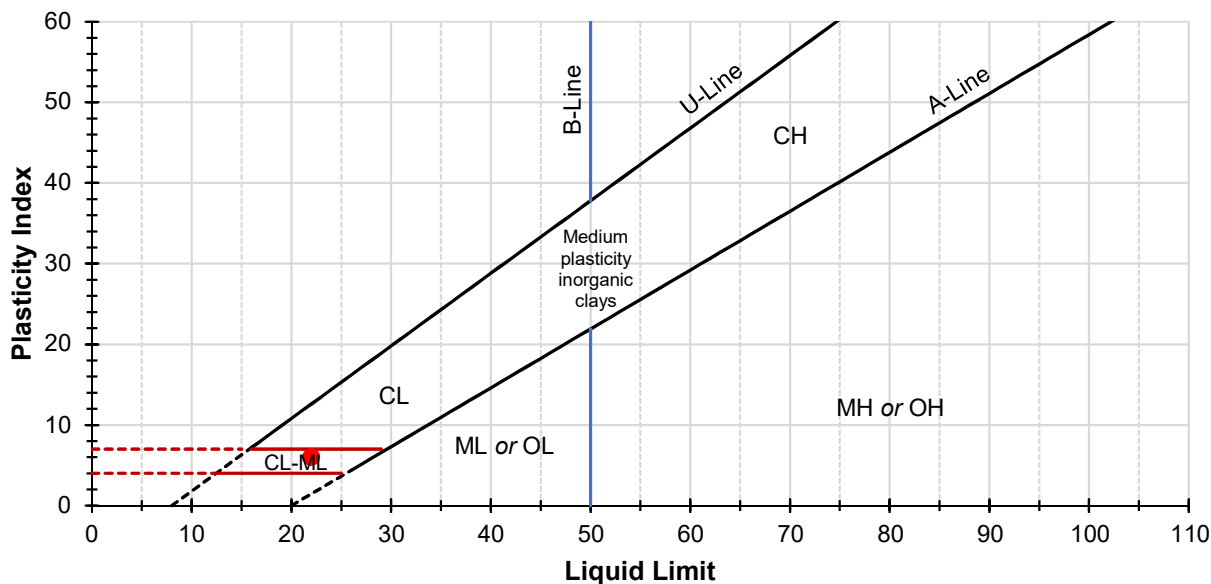
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19.5



Report Date: 10/16/2019	Sample Date: 10/4/2019	Station: B-1
Project Location: La Loma	Sample By: Chase B.	Location: Anton Chico Elementary
Project No. 62145	Test Date: 10/14/2019	Source: 4' BG
Report No. 2	Tested By: Jesse R.	
Soak Time: 2 Hours	Sample Prep Method: Oven-dried	Test Method: ASTM D6913-04
Dispersion Process: <input type="checkbox"/> Ultrasonic bath	<input type="checkbox"/> Shaking Apparatus	<input checked="" type="checkbox"/> None

Plasticity Chart



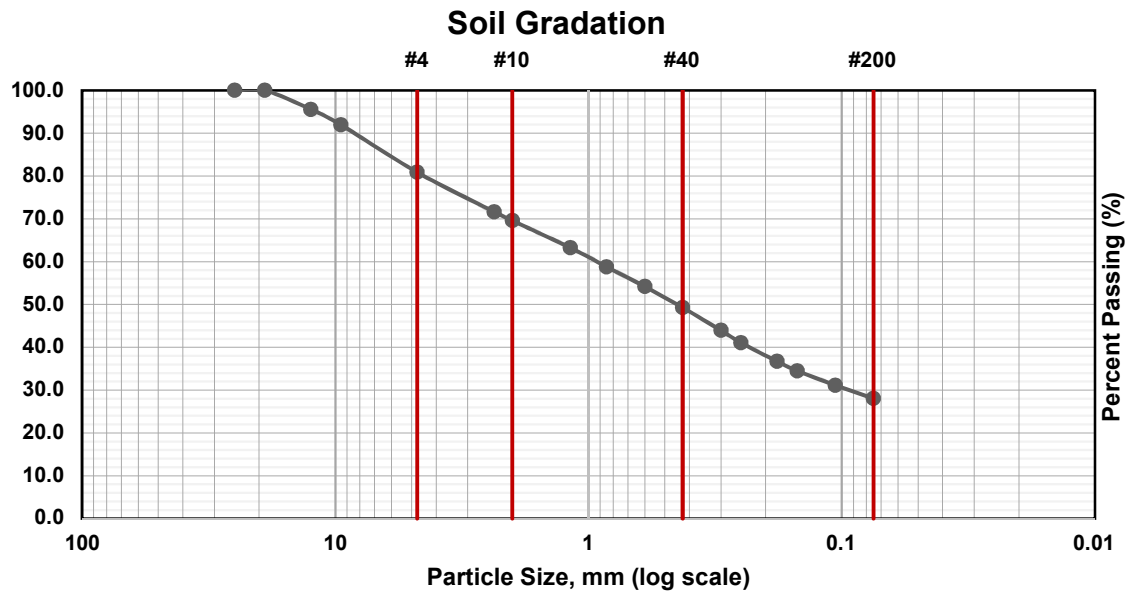
Deviations/Notes:

Reviewed By: Jesse Reinikainen, PE



Report Date: 10/16/2019	Sample Date: 10/4/2019	Station: B-1A
Project Location: La Loma	Sample By: ChaseB.	Location: Anton Chico Elementary
Project No. 62145	Test Date: 10/14/2019	Source: 2-3' BG
Report No. 3	Tested By: Jesse R.	
Soak Time: 2 Hours	Sample Prep Method: Oven-dried	Test Method: ASTM D6913-04
Dispersion Process: <input type="checkbox"/> Ultrasonic bath <input type="checkbox"/> Shaking Apparatus <input checked="" type="checkbox"/> None		

Sample: 6214511

**Gradation****ASTM D2487 Classification:**

Group Name: N/A

Group Symbol: N/A

Shape Parameters: C_u : 0.18 C_c : 11.33**AASHTO Classification - ASTM D3282-15:**

Group Classification: N/A

 D_{60} : 0.9 D_{30} : 0.106 D_{10} : 0.075**Atterberg Limits: ASTM D4318-17**

Liquid Limit: N/A

Plastic Limit: N/A

Plasticity Index: N/A

Sieve Size % Passing

1 1/2"

1"

3/4" 100

1/2" 96

3/8" 92

#4 81

#8 72

#10 70

#16 63

#20 59

#30 54

#40 49

#50 44

#60 41

#80 37

#100 35

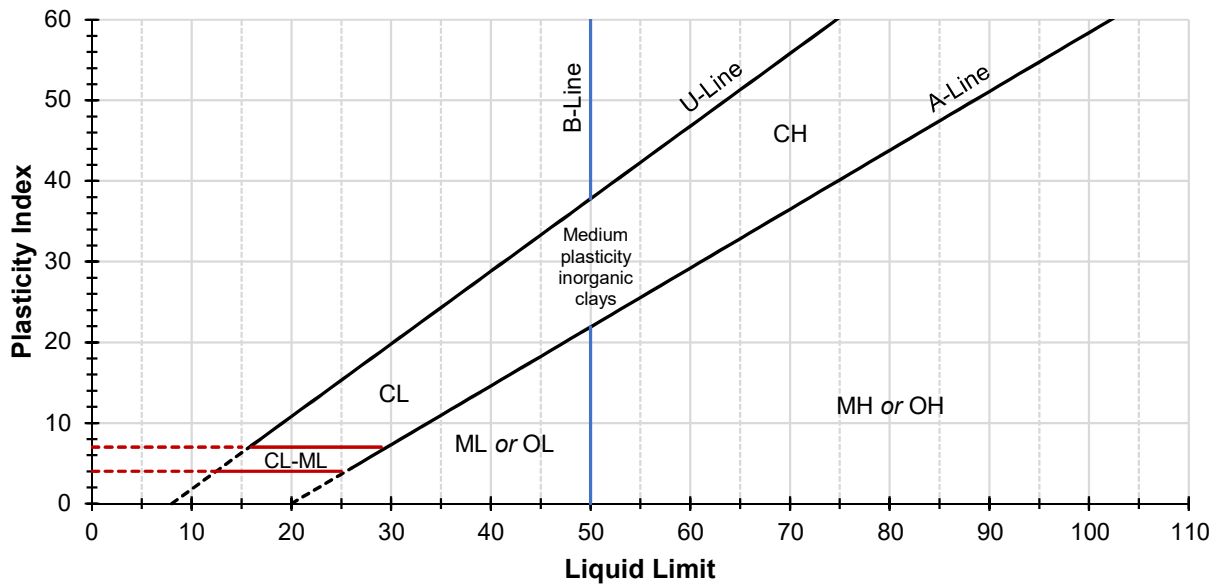
#140 31

#200 28.0



Report Date: 10/16/2019	Sample Date: 10/4/2019	Station: B-1A
Project Location: La Loma	Sample By: Chase B.	Location: Anton Chico Elementary
Project No. 62145	Test Date: 10/14/2019	Source: 2-3' BG
Report No. 3	Tested By: Jesse R.	
Soak Time: 2 Hours	Sample Prep Method: Oven-dried	Test Method: ASTM D6913-04
Dispersion Process: <input type="checkbox"/> Ultrasonic bath <input type="checkbox"/> Shaking Apparatus <input checked="" type="checkbox"/> None		

Plasticity Chart



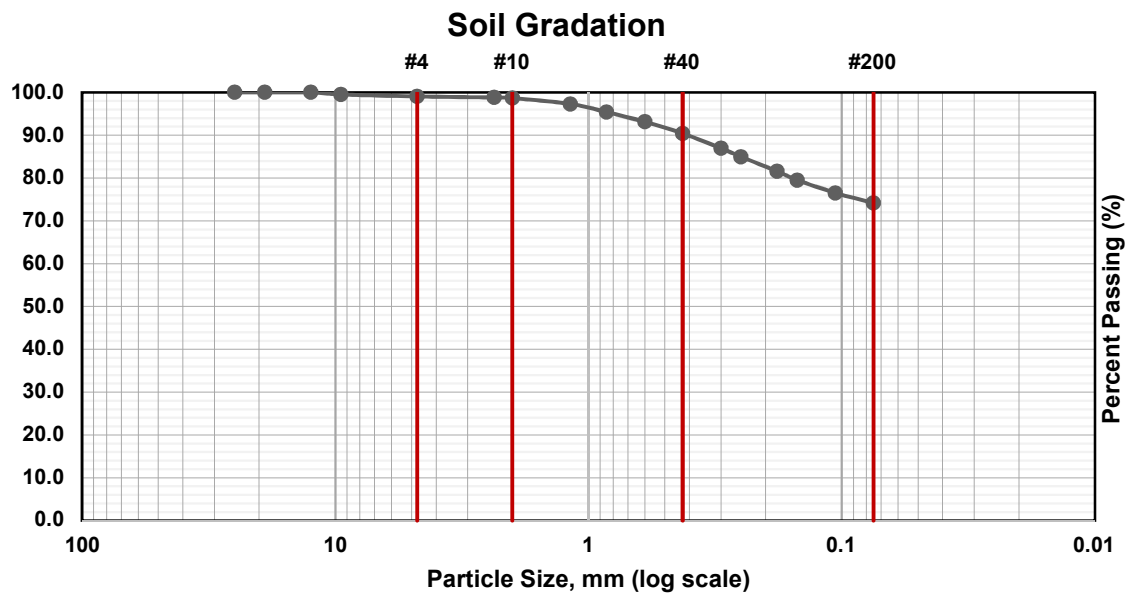
Deviations/Notes:

Reviewed By: Jesse Reinikainen, PE



Report Date: 10/16/2019	Sample Date: 10/4/2019	Station: B-4
Project Location: La Loma	Sample By: Chase B.	Location: Anton Chico Elementary
Project No. 62145	Test Date: 10/14/2019	Source: 3.5-4' BG
Report No. 4	Tested By: Jesse R.	
Soak Time: 2 Hours	Sample Prep Method: Oven-dried	Test Method: ASTM D6913-04
Dispersion Process: <input type="checkbox"/> Ultrasonic bath <input type="checkbox"/> Shaking Apparatus <input checked="" type="checkbox"/> None		

Sample: 6214519

**Gradation****ASTM D2487 Classification:**

Group Name: Sandy lean clay

Group Symbol: CL

Shape Parameters: C_u : 1.0 C_c : 1.0**AASHTO Classification - ASTM D3282-15:**

Group Classification: A-7-6

 D_{60} : 0.1 D_{30} : 0.075 D_{10} : 0.075**Atterberg Limits: ASTM D4318-17**

Liquid Limit: 44

Plastic Limit: 18

Plasticity Index: 26

Sieve Size % Passing

1 1/2"

1"

3/4"

1/2"

3/8"

#4

#8

#10

#16

#20

#30

#40

#50

#60

#80

#100

#140

#200

100

99

99

99

97

95

93

90

87

85

82

80

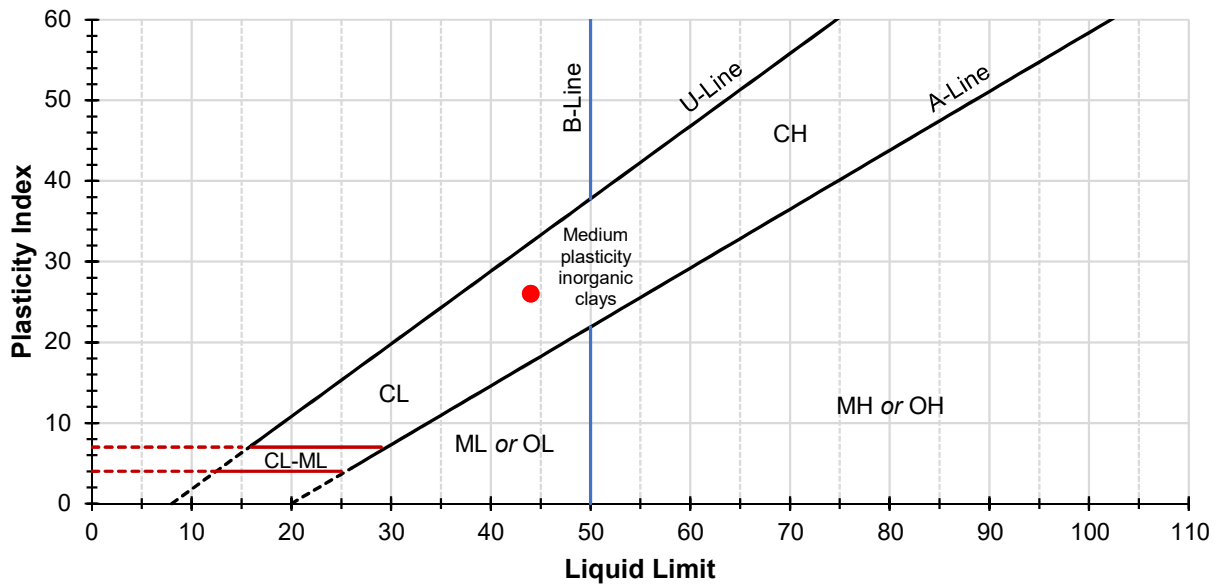
77

74.2



Report Date: 10/16/2019	Sample Date: 10/4/2019	Station: B-4
Project Location: La Loma	Sample By: Chase B.	Location: Anton Chico Elementary
Project No. 62145	Test Date: 10/14/2019	Source: 3.5-4' BG
Report No. 4	Tested By: Jesse R.	
Soak Time: 2 Hours	Sample Prep Method: Oven-dried	Test Method: ASTM D6913-04
Dispersion Process: <input type="checkbox"/> Ultrasonic bath <input type="checkbox"/> Shaking Apparatus <input checked="" type="checkbox"/> None		

Plasticity Chart



Deviations/Notes:

Reviewed By: Jesse Reinikainen, PE

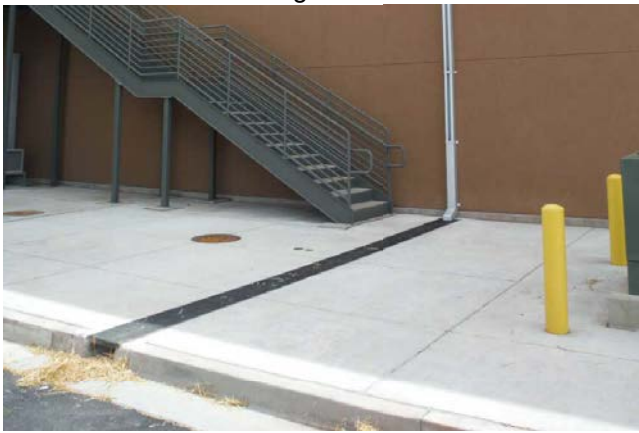
Appendix C: Photos







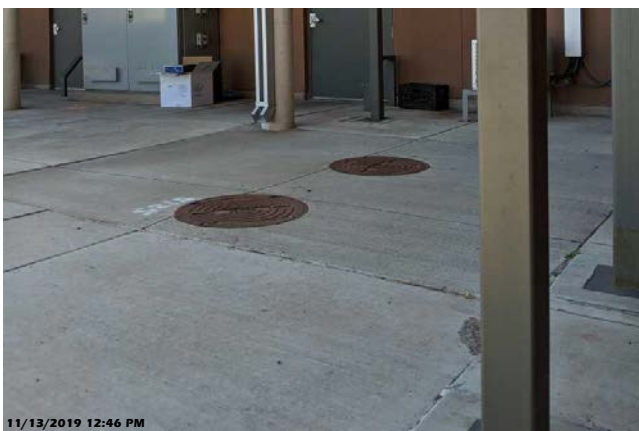












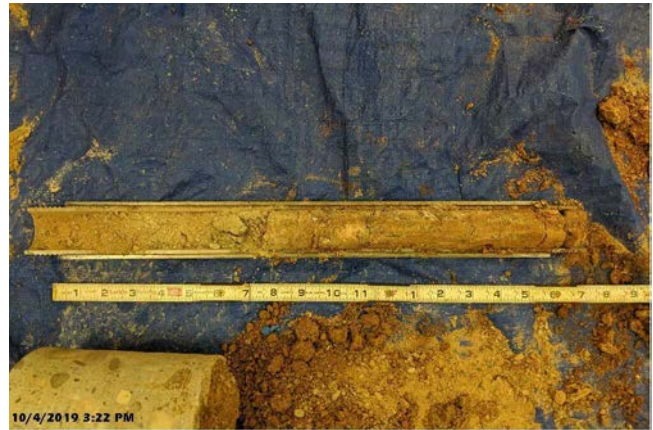


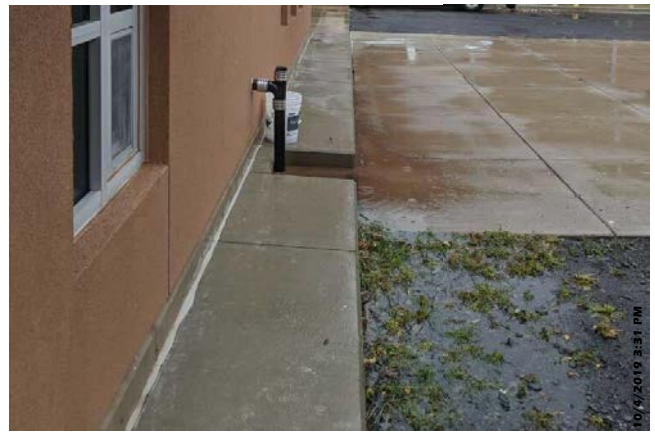
















BOARD OF DIRECTORS

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New Mexico Public School Facilities Authority (NMPSFA)
1312 Basehart SE, #200

Chris Romero, P.E.
Vice President/Principal

Albuquerque, NM 87106

Steven Vasquez, P.E.
Vice President/Principal

**RE: RITA M. MARQUEZ/ANTON CHICO ELEMENTARY SCHOOL
ANTON CHICO, NEW MEXICO
STRUCTURAL INVESTIGATION**

Nicholas Torres, P.E.
Vice President/Principal

Dear Ms. Ivashkova:

Pursuant to your request, we have performed an investigation of the existing Rita M. Marquez Elementary School/Anton Chico Middle School building located in Anton Chico, New Mexico. The purpose of our investigation was to determine the cause of slab and wall cracks and to recommend a repair for the cracks.

The scope of our assessment involved review of documentation provided to us by the NMPSFA and the Santa Rosa Consolidated Schools (SRCS), visual observation of the school, monitoring/measuring of the school, and providing recommendations for repairs. Preparation of construction documents for the repairs was not part of our scope of services.

To assist with our investigation, we hired the following sub-consultants:

1. Geo-Test, Inc. – Geotechnical Engineer
2. Scott M McGee, PE, LLC – Civil Engineer
3. Terra Land Surveys – Surveyor
4. American Leak Detection – Underground leak detection company

Introduction

The Rita M. Marquez Elementary School/Anton Chico Middle School is located in Anton Chico, New Mexico. The school is a 20,200 square foot single level steel

frame and masonry building with a mechanical mezzanine. Construction of the school began in February of 2013 and substantial completion was on June 2, 2014. The building was built on a ten-acre parcel provided by the Anton Chico Land Grant that had been used at one time as a horse racing track. All infrastructure, including a geothermal well field, was constructed as part of the project.

In 2016, some movement began to be detected in the building, primarily by door frames shifting and doors jamming. Also, some of the site concrete slabs were experiencing movement and cracking. On 02/15/17 during a facilities assessment by NMPSFA, numerous cracks were discovered throughout the facility in the interior walls and the concrete floor slab. Since that time, the cracks have continued to grow with a particular surge in crack growth after a very large rainfall at the end of September, 2017, estimated by the SRCS to be around 5 inches in the Anton Chico area.

For simplicity, please note that all directions referenced in this report are relative to plan north, not true north, as presented on the construction drawings.

Documentation Provided

The following documentation was provided to Chavez-Grievies Consulting Engineers (CGCE) by the NMPSFA and the SRCS:

1. As-Built Construction Drawings prepared by FBT Architects and their sub-consultants, dated April, 2015.
2. Project Geotechnical Report prepared by Western Technologies Inc. (WTI) dated August 24, 2012.
3. Approximately sixty work order requests for the school building dated 08/20/14 through 11/06/2017.
4. Letter from Walla Engineering dated October 1, 2017, stating the building was structurally sound despite the cracks.
5. Project soils compaction tests by Earthworks Engineering Group. LLC, dated 2/27/13 through 3/20/13, indicating some questionable compaction of the fill below the slab in some areas.
6. Swell tests from existing under slab samples by WTI dated 5/16/17, indicating non-conformance of the fill below the slab at the tested area.
7. Coliform tests from under slab soil samples by Hall Environmental Analysis Laboratory dated 4/12/17, indicating the moisture below the slab was not from a sewer line leak.
8. Anton Chico Building Chronology provided by SRCS with dates ranging from April 3, 2017 through January 3, 2018.
9. Cause and Origin Report prepared by Madsen, Kneppers, and Associates,

Inc., dated October 27, 2017.

Data Obtained/Reports

The following data, with subsequent reports as required, was obtained/prepared by CGCE and our sub-consultants during the investigation process:

1. Floor level survey – see Appendix A.
2. Soil borings – see Appendix B for Geo-Test, Inc. Borings and Report.
3. Site survey – see Appendix C for Terra Land Survey Elevation Plan and Appendix D for Scott McGee, PE Report.
4. Crack survey utilizing crack gauges and tell tales – see Appendix E for crack survey plan.
5. Under slab piping leak detection – see Appendix F for American Leak Detection Report.
6. Photographs – see Appendix G for select photographs with descriptions.

Discussion

1. Project Geotechnical Report prepared by Western Technologies Inc. (WTI)

The original project geotechnical report noted the presence of medium to high plasticity (expansive) clays at the site. Because of this, WTI mentions numerous times throughout their report that these clay soils may expand with an increase in moisture content and that all possible measures should be taken to prevent this from occurring, including:

- A. Maintaining positive drainage away from the structure during construction and for the life of the building.
- B. In areas where hard surfaces like concrete or asphalt are not adjacent to the building, the slope away from the building should be 5% for 10 feet, or 6”.
- C. No planters, retention basins, or other surface features that could retain water should be placed adjacent to the building. However, if they are constructed, they should be sealed, grades should slope away from the structure, only shallow rooted plants should be used, and watering should be kept to a minimum.

In addition to the above, WTI recommended the use of concrete spread footings and an interior concrete slab-on-grade for this building. Thickened slabs could be used to support interior partitions with limitations. WTI stated that a minimum of 36” of non-expansive structural fill be placed below the interior slab-on-grade to minimize the potential for slab heaving (upward movement). There was no specific requirement for structural fill below the footings, and it was stated that

the footings could be placed on either undisturbed native soils or structural fill.

WTI also made recommendations for the exterior slabs. The recommendations included:

- A. Use of fill with low expansive potential and low frost susceptibility.
- B. Placement of effective control joints at relatively close centers.
- C. Moisture-density control during placement of subgrade fills.
- D. Provision for adequate drainage in areas adjoining the slabs.

While the placement of low-expansive fill is mentioned in the report, there is no specific requirement for a minimum amount of fill below the exterior slabs.

2. As-Built Construction Drawings prepared by FBT Architects and their sub-consultants

The As-Built Construction Drawings provide the following information:

A. Architectural Site Plans, Sheets AS-101 through AS-132:

These drawings show that the entire building perimeter was designed to have a concrete slab directly adjacent to the building. In addition, concrete trench drains have been provided at the roof drains to direct the roof drainage away from the building. There are some areas where the concrete paving consists of a 2'-6" wide mow strip only. The drawings also call for all free edges of concrete site paving (adjacent to other materials) to have a concrete turn down edge 18" deep by 6" wide. There are a number of planting areas near the building, some as close as 2'-6" and adjacent to the mow strips.

B. Site Survey, Sheet AS-201, and Civil Plans, Sheets C-101 through C-113:

The Site Survey plan shows that the site slopes from the northwest to the southeast with an approximate drop of 8 feet across the site and 2 feet across the building. The Grading and Drainage plans shows the strategy to get the site water around the building was to direct the water away from the building and then around the building as it flowed to the southwest. Concrete drainage swales were used to help get the water around the building.

C. Landscape Plans, Sheets LS-101, LI-101, LP-101, and LS-501:

The Landscape Plans show that drip irrigation was designed to water the plants in the planters around the building. They also call for all planting areas to receive

3" of crusher fines with a filter fabric below. The designated plants consist of a variety of trees, shrubs, and groundcover.

D. Structural Plans, Sheets S-001 through S-505:

These drawings show that the building foundation was designed as a concrete spread footing foundation under the exterior load bearing steel stud and masonry walls, concrete spread footings under interior steel columns and interior masonry bearing walls, and concrete thickened slab/grade beams integral with the slab-on-grade at interior steel stud bearing walls. The slab-on-grade is isolated from all load bearing foundations with expansion material, except at the load bearing interior stud walls, where the slab-on-grade is integral with the foundation

3. Floor Level Survey (Appendix A)

The floor level survey shows the relative elevation differences in the floor slab. As can be seen, the slab undulates significantly, for a maximum elevation difference of 4.8 inches between the highest and lowest point. This type of elevation difference is significant and appears to be due to post-construction movement, which is confirmed by the slab and wall cracks in the building. The slab elevation survey also shows the following:

- A. The slab elevations at the perimeter of the building are generally higher than the interior.
- B. At the middle section of the building, the slab elevations are generally higher than the rest of the building.

4. Geotechnical Report and Soil Borings by Geo-Test, Inc. (Appendix B)

The soil borings, except for one approximately 30 feet to the north of the building, showed elevated moisture levels in the clay soils at the site compared to the borings in the original project geotechnical report by WTI.

This Geotechnical Report reached the following conclusions:

- A. The subsurface moisture content below the building has increased substantially since the original Project Soils Report by WTI.
- B. This moisture increase has caused the existing clay soils to heave and possibly settle below the building.
- C. This movement is certainly a contributing factor, if not the sole factor, of the observed cracking and distress within the walls and floors of the building.
- D. The fill material below the slab-on-grade at the interior boring locations meets the project specifications and was approximately 3 feet deep. However, the presence of this fill will not prevent the expansion/compression of the underlying clay soils due to the increases in moisture content.

- E. The additional moisture below the building appears to be natural precipitation traveling through the permeable fill soils and into the native clay soils.

Based on these conclusions, Geo-Test, Inc.'s recommendations are as follows:

- A. Conduct further site surveys and identify areas of negative drainage surrounding the building so that these areas can be regraded to provide positive drainage away from the building.
- B. The backfill around all utility lines entering the building should be overexcavated where they enter the building and replaced with a clay plug, or other means, to prevent migration of water along the utility lines and underneath the building – particularly where the geo-thermal lines enter the building.
- C. Remove all planters adjacent to the building and replace with sealed above grade planters, if desired.
- D. Once the above remedial measures have been implemented, the building should be monitored over a period of time to determine if the movement has stopped. Should foundation movements continue to worsen during the monitoring period, it may be necessary to install a cut-off trench around the perimeter of the building.
- E. Regarding the damaged concrete flatwork on the site, it should be removed and replaced per the recommendations in the report.

5. Site Survey (Appendix C)

An initial site elevation survey was conducted to verify the grades around the building and the elevation of the building floor slabs at the door openings. The results of this survey were not able to tell us if the building slab had heaved or settled, because the original project survey was created based on a different vertical datum. We requested the As-Built survey for the building to help us, but it was not available or was not completed. We were informed that the project slab elevation was built to the original design elevation of 5278.00' above mean sea level elevation (MSLE), but the slab elevation from our new survey showed 5280.4' +/- above MSLE, due to the vertical datum issue.

Because of the discrepancy in vertical datums, another site survey was conducted in an attempt to obtain better data. Of course, without the As-Built survey, the data would still be questionable. The next survey again ran into issues, as the project bench mark referenced in the original project survey had been damaged (cap was missing). Two sets of vertical data were provided using 2 methods. After review of the 2 sets of data, the slab elevation survey (Appendix A), and the crack patterns shown at the building, it appears that the building slab elevation has heaved in some areas and settled in some other areas, with the

majority of the slab heaved.

6. Civil Report by Scott M McGee, PE, LLC (Appendix D)

The Civil Report makes the following statements:

- A. The west side of the building is the service drive area and is also mostly impervious. An area north of the service drive however had evidence of ponded water close to the building. This area had adverse grades which prevented runoff from draining away from the building.
- B. The developed runoff from the building roof is carried away from the structure with impervious surface swales. Grading improvements on the north side of the building direct most offsite flows around the building. One area appears to trap the offsite flow between the water storage tank and the NW corner of the classroom building. Offsite surface flow could pond in this area which coincides with the geothermal bore field area.
- C. The mechanical plans for the building indicate that a 5'-deep trench was constructed from the bore field to route the piping into the building. This trench location coincides with the area where offsite flows could possibly pond on the surface. Depending on the level of compaction of the trench backfill, this could potentially be a conduit allowing water to migrate under the building foundation.

As part of the Civil Report, rainfall data was presented as obtained by the National Oceanic and Atmospheric Administration (NOAA) for September, 2017 at stations in the vicinity of Anton Chico. The data shows significant rainfall at the end of September as follows:

Las Vegas, NM – Approximately 30 miles north of Anton Chico

9/26/17 – 0.19"

9/27/17 – 2.87"

9/28/17 – 1.15"

Villanueva, NM – Approximately 30 miles west of Anton Chico

9/26/17 – 1.10"

9/27/17 – 2.55"

9/28/17 – 0.55"

7. Crack Survey (Appendix E)

On 01/21/18, crack gauges were installed at sample wall crack locations, tell tales were marked at the ends of a sampling of other cracks, and a floor crack survey was conducted. Crack gauges are installed across cracks and

they tell you if the crack is getting larger or smaller, and if there is any vertical or horizontal translation across the crack, over time. Tell tales are marks at the ends of a crack which tell if the crack is lengthening over time. The plan in Appendix E shows the locations of these crack gauges and the tell tales. The last readings of the crack gauges and tell tales were taken on 06/20/18.

Over this six-month period, our measurements show that the cracks are continuing to grow, also indicating that the building is continuing to move. While the movement indicated by the crack gauges has been relatively minimal (up to 1/16"), the tell tales have shown significant growth (up to 32" in length). In general, the growth of the monitored cracks has slowed slightly from the initial readings taken on 02/27/18 to the last readings taken on 06/20/18. This coincides with the lack of rain in the area over that time period.

8. Under-Slab Leak Detection Report (Appendix F)

American Leak Detection conducted a leak detection test on all underground piping, including pressure and drain lines, and the geothermal well pipes. No leaks were detected.

9. Select Photographs (Appendix G)

See Appendix G for select photographs of the building and site.

Conclusions

Based on the above information, our conclusions are as follows:

- A. The movement/cracking of the building and the exterior slabs is being caused by moisture intrusion into the clay soils on the site, causing these soils to heave and/or settle.
- B. The moisture appears to be coming from site precipitation. This is indicated by the following:
 - 1. The under-slab piping was tested and no leaks were found.
 - 2. All the soil borings done on site to date did not find a water table. The borings have been as deep as 21.5'.
 - 3. There is no indication of a natural spring on the site or in the general vicinity.
 - 4. The size and number of cracks increased substantially immediately after the heavy rains at the end of September, 2017.
- C. The moisture appears to be getting into the clay soils below the building

through the permeable fill placed below the building slab and footings. Although the perimeter of the building has concrete slabs to protect from moisture, the planters, utility trenches, and other permeable surfaces near the building provide opportunities for the precipitation to get below the building.

- D. The best way to stop the movement/cracking of buildings with expansive clay soils is to stop the moisture from getting below them, thus stabilizing the moisture in the clays. Eventually with the moisture stabilized, the building will stop moving/cracking and repairs can be made. Unfortunately, the time frame to stop this movement may be lengthy.

Recommendations

Based on our conclusions, the following are our repair recommendations for the Rita M. Marquez ES/Anton Chico MS Building in order of priority:

1. Protect the soils below the foundation and slab of the building so that the moisture content of the soil is stabilized. If this can be accomplished, the soil movement will eventually stop, the foundation will stabilize, and the wall/slab cracking will eventually stop.

We propose a two-step strategy to accomplish this task. The first step is to regrade the site, potentially add new concrete swales and new concrete slabs adjacent to the building, remove all planters adjacent to the building and replace if desired with above-ground sealed planters, and seal all utility trenches entering the building, especially the geothermal pipe trench. Once these repairs are complete, the building can be monitored for movement utilizing the crack gauges and tell-tales already installed during the investigation process. After no movement is detected for a 4-6 month period, the cracks in the slabs and walls can most likely be repaired.

If the movement continues or worsens, the second step will need to be implemented. This step involves installing a moisture cut-off wall around the entirety of the building perimeter. See Appendix H for a preliminary detail of the moisture cut-off wall. Once this cut-off wall is installed, the building is again monitored as above using the installed measuring devices.

Depending on available funds, the owner has the option to do both steps at the same time. In our opinion, this would be the best approach.

2. Replace the damaged exterior slabs with new slabs per the exterior slab detail in Appendix H. If the moisture cut-off wall around the building perimeter is installed (Step two referenced above), the slabs adjacent to the building will

need to be demolished and will already need to be replaced. All new concrete slabs adjacent to the building should be at least 10'-0" wide, provide positive drainage away from the building, have sealed control joints, and a turned down perimeter slab. Depending on the location of the clay, a moisture cut-off wall may be required at some locations.

Please note that the goal of this repair process is to arrest the significant movement currently occurring at the building so that structural repairs of the building are not required. Minimal movement and cracking can be expected for an extended time frame after the repairs are implemented.

Closing

We recommend that the above referenced repairs be made to the building as soon as is reasonably possible. If the repairs are not made, the issues could become more serious and costly to fix. Therefore, the primary short-term concern is stopping the moisture from getting below the building.

The next steps for the owner to achieve the repairs on this building are as follows:

1. Continue monitoring the building for movement on a bi-monthly basis.
2. Hire an engineering team to provide final investigations as required and prepare construction documents for the repairs.

We reserve the right to amend this report should new information be made available from other professionals or ourselves that would affect the conclusions reached.

This completes our report. Please let me know if you have any questions or issues. It has been a pleasure serving you on this assignment.

Very Truly Yours,

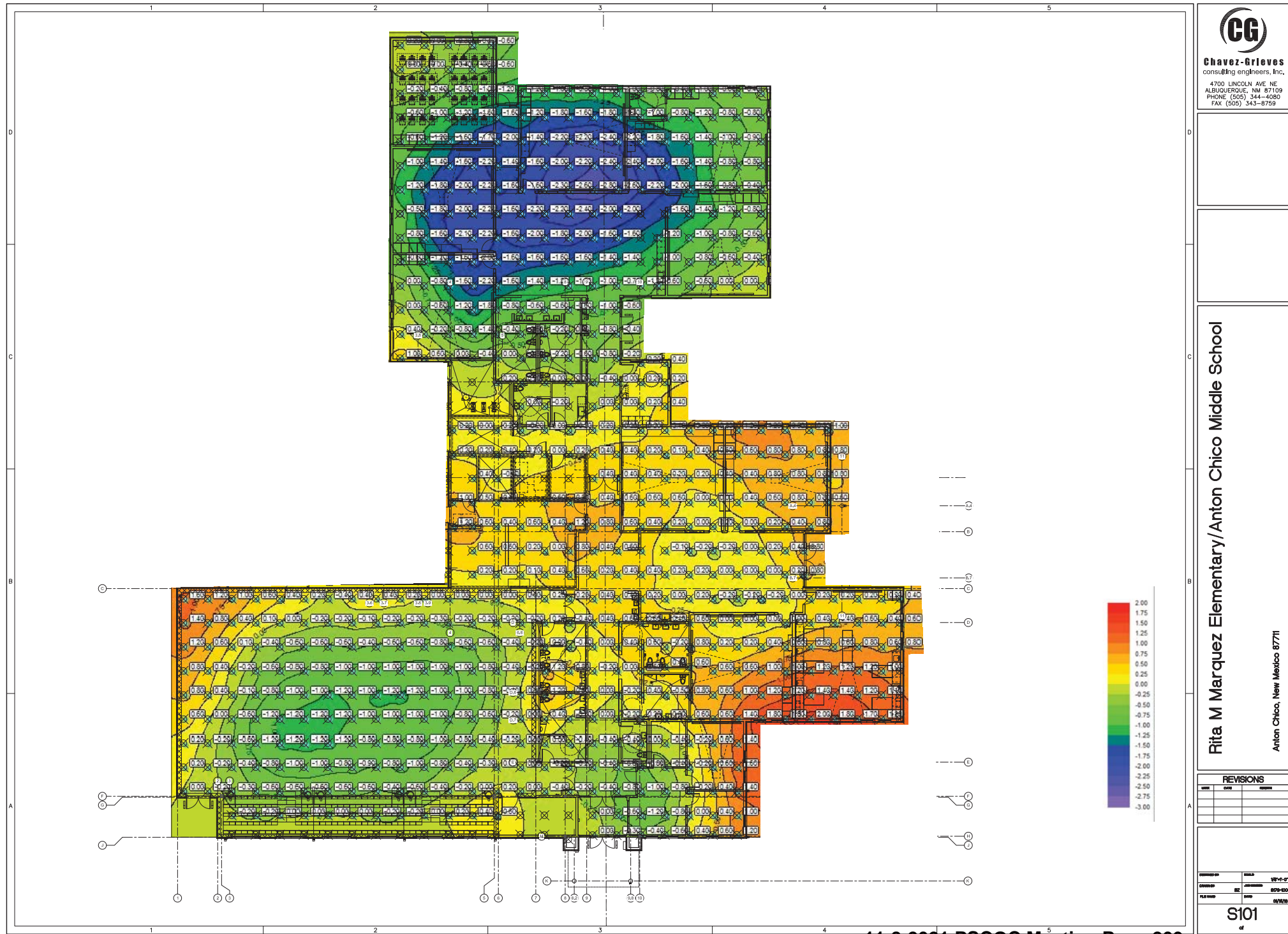
A handwritten signature in dark ink, appearing to read 'GHB III', with a stylized flourish at the end.

George H. Bradley III, PE
Principal Structural Engineer
Chavez-Grieves Consulting Engineers, Inc.

Attachments:
Appendices – as referenced

APPENDIX A

FILENAME: S:\2171\100 Anton Chico Middle School.dwg
PLOT DATE: 11/8/2021 11:08 AM
PLOT BY: JAC



APPENDIX B

**GEOTECHNICAL ENGINEERING
SERVICES REPORT
NO. 1-71213
RITA M. MARQUEZ ELEMENTARY SCHOOL &
ANTON CHICO MIDDLE SCHOOL
DISTRESS EVALUATION
ANTON CHICO, NEW MEXICO**

GEO-TEST, INC.
3204 RICHARDS LANE
SANTA FE,
NEW MEXICO
87507
(505) 471-1101
FAX (505) 471-2245

8528 CALLE ALAMEDA NE
ALBUQUERQUE,
NEW MEXICO
87113
(505) 857-0933
FAX (505) 857-0803

2805-A LAS VEGAS CT.
LAS CRUCES,
NEW MEXICO
88007
(575) 526-6260
FAX (575) 523-1660

PREPARED FOR:

**CHAVEZ-GRIEVES
CONSULTING ENGINEERS**

July 6, 2018
Job No. 1-71213

Chavez-Grievess Consulting Engineers
4700 Lincoln Road NE, Suite 102
Albuquerque, New Mexico 87109

ATTN: George H. Bradley, PE

RE: Geotechnical Engineering Services Report
Rita M. Marquez Elementary School
& Anton Chico Middle School
Distress Evaluation
Anton Chico, New Mexico

Dear Mr. Bradley:

Submitted herein is the Geotechnical Engineering Services Report for the above referenced project. The report contains the results of our field investigation, laboratory testing, discussion of our findings and recommendations for remedial action.

It has been a pleasure to serve you on this project. If you should have any questions, please contact this office.

Respectfully submitted:
GEO-TEST, INC.



Patrick R. Whorton, EI

Reviewed by:



GEO-TEST, INC.
3204 RICHARDS LANE
SANTA FE,
NEW MEXICO
87507
(505) 471-1101
FAX (505) 471-2245

8528 CALLE ALAMEDA NE
ALBUQUERQUE,
NEW MEXICO
87113
(505) 857-0933
FAX (505) 857-0803

2805-A LAS VEGAS CT.
LAS CRUCES,
NEW MEXICO
88007
(575) 526-6260
FAX (575) 523-1660

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GEO-TEST, INC.
3204 RICHARDS LANE
SANTA FE,
NEW MEXICO
87507
(505) 471-1101
FAX (505) 471-2245

8528 CALLE ALAMEDA NE
ALBUQUERQUE,
NEW MEXICO
87113
(505) 857-0933
FAX (505) 857-0803

2805-A LAS VEGAS CT.
LAS CRUCES,
NEW MEXICO
88007
(575) 526-6260
FAX (575) 523-1660



INTRODUCTION

This report presents the results of the geotechnical engineering services investigation performed on the Rita M. Marquez Elementary School & Anton Chico Middle School building in Anton Chico, New Mexico.

The objectives of this investigation were to:

- 1) Evaluate the nature and engineering properties of the subsurface soils underlying the site.
- 2) Provide a discussion relative to the subsurface soils underlying the site along with our opinions relative to the cause, or causes, of the ongoing building distress.
- 3) Provide geotechnical recommendations to halt, or at least minimize, the ongoing distress to the building and to provide recommendations for remedial actions.

The investigation includes subsurface exploration, selected soil sampling, laboratory testing of the samples, performing an engineering analysis and preparation of this report.

EXISTING CONDITIONS

The purpose of this investigation is to ascertain and evaluate the observed distress to the subject structure and site features. The subject building was constructed between 2013 and 2014. Shortly after construction was completed, interior wall and floor slab cracking as well as cracking and displacement of exterior sidewalks and other site features was observed. It is understood that repairs were made to the emerging cracks but that over time the repairs have also failed, and new cracks and distress have appeared, indicating that the building is experiencing continuing movement.

The subject building has a footprint of approximately 20,000 square feet and is founded on shallow spread-type footings and slabs on grade. As indicated by the record drawings (November 2012), the earthwork during construction consisted of overexcavation of the existing native soils to such an extent as to provide 3 feet of structural fill beneath the floor slab. However, based on the grading plan, the entire building area was raised about 2 to 4 feet above original site grades on structural fill such that only about 1 foot of overexcavation was necessary to provide the recommended 3 feet of structural fill beneath the floor slab. Footings are established 2 feet below adjacent grade such that there should be approximately 1 to 2 feet of structural fill beneath footings and 3 to 4 feet beneath the floor slab. According to the original geotechnical investigation provided by Western Technologies (August, 2012), the native soils consist primarily of medium to high plasticity clays.

The subject structure is located approximately 0.75 miles east of the Pecos River on the northwestern end of an old dirt horse racing track. The site is



relatively flat but slopes gently down to the southwest. The terrain increases in elevation to the north and east of the school.

Should project details vary significantly from those outlined above, this firm should be notified for review and revision of recommendations contained herein.

FIELD EXPLORATION

A total of nine (9) exploratory borings were drilled on site to varying depths within the interior and the exterior of the building. The locations of the borings are shown on the attached Boring Location Map, Figure 1. During the test drilling, the soils encountered in the borings were continuously examined, visually classified, and logged. The boring logs are presented in a following section of this report. Borings 1 through 4 were drilled to depths of about 10 feet using a hand auger within the interior of the structure. Samples were collected at regular intervals and Dynamic Cone Penetrometer testing was performed in some of the borings. Borings 5 through 9 were drilled to depths ranging from about 5 to 20.5 feet using a truck mounted drill rig equipped with a 6.5-inch diameter continuous flight hollow stem auger around the exterior of the structure. Subsurface materials were sampled at five-foot intervals or less utilizing an open tube split barrel sampler and a brass ring-lined sampler driven by a Standard Penetration Test hammer.

LABORATORY TESTING

Selected soil samples were tested in the laboratory to determine certain engineering properties of the soils. Moisture contents and dry densities were determined to evaluate the various soil deposits with depth. The results of these tests are presented on the boring logs.

Sieve analysis and Atterberg limits tests were performed on selected samples to aid in soil classification. In addition, consolidation/expansion tests were performed on select relatively undisturbed samples to evaluate the volume change characteristics upon moisture increase. Unconfined compression testing was also performed to determine the undrained shear strength of the soils. The results of these tests are presented in the Summary of Laboratory Results and on the individual test reports presented in a following section of this report.

SUBSURFACE SOIL CONDITIONS

As indicated by the exterior exploratory borings, the soils underlying the site consist primarily of medium to high plasticity clays and sandy clays which extend to the full depths explored. As indicated by the standard penetration tests, these soils were generally moderately firm to firm. A stratum of clayey sand with gravel was encountered at a depth of 18 feet below existing grades within borings on the north and west sides of the building. These clayey sands ranged from loose to dense and were of medium plasticity.

GEO-TEST, INC.
3204 RICHARDS LANE
SANTA FE,
NEW MEXICO
87507
(505) 471-1101
FAX (505) 471-2245

8528 CALLE ALAMEDA NE
ALBUQUERQUE,
NEW MEXICO
87113
(505) 857-0933
FAX (505) 857-0803

2805-A LAS VEGAS CT.
LAS CRUCES,
NEW MEXICO
88007
(575) 526-6260
FAX (575) 523-1660



As indicated by the interior borings, the soils underlying the building consist of 2 to 2.5 feet of silty and clayey sand with gravel directly below the floor slab vapor barrier. It is understood that this material was placed beneath the slab as imported structural fill as recommended in the original soils report. As indicated by the cone penetration tests, these fill soils ranged from loose to medium dense and were non-plastic to low in plasticity. Beneath the fill soils, the native medium to high plasticity clays were encountered and extended to the full depths explored.

No free groundwater was encountered in the borings. Soil moisture contents beneath and in close proximity to the building were generally high. In many cases the moisture content of lower plasticity clays was above the plastic limit of the soil. The exception was boring 7, which was located on the northeast side of the building in an area beyond the limits of construction. Soil moisture contents in this boring were relatively low and consistent with moisture contents recorded by Western Technologies during the original geotechnical investigation.

CONCLUSIONS

Upon review of the relevant construction documents and analysis of data collected during this investigation, it is concluded that significant post construction soil moisture increases have occurred beneath the subject structure. It is our opinion that these soil moisture increases have created differential movement of the foundation supporting soils which have caused the observed distress to the structure.

Soil moisture contents observed within boring 7 of this report, which was located approximately 30 feet northeast of the building, were consistent with the moisture contents recorded in the original geotechnical report by Western Technologies. These soil moisture contents ranged from 10 to 14 percent. It is our opinion that these are the natural, or pre-construction moisture contents of the soils. By comparison, the moisture contents of the native clay soils observed beneath the building, and in the exterior borings in closer proximity to the building, ranged from 14 to 26 percent. On average, the soil moisture contents in the upper 10 feet below or near the building were approximately twice the moisture contents in upper 10 feet of boring 7 and the pre-construction borings. This would indicate that significant post-construction moisture increases have occurred in the foundation supporting soils.

Based on laboratory testing, it was determined that the native clay soils beneath the building possess a medium to high expansive potential. These soils have the potential to expand, or heave, upon moisture increases. As an increase in moisture was observed beneath the building, it is our opinion that the distress to the building has been caused, at least in part, by the heaving of foundation and slab supporting soils. The measured expansive potential varied across the site such that some of the native clay soils would expand to a greater degree than others when exposed to an equal increase in moisture. This would lead to differential movements throughout the building which in turn

GEO-TEST, INC.
3204 RICHARDS LANE
SANTA FE,
NEW MEXICO
87507
(505) 471-1101
FAX (505) 471-2245

8528 CALLE ALAMEDA NE
ALBUQUERQUE,
NEW MEXICO
87113
(505) 857-0933
FAX (505) 857-0803

2805-A LAS VEGAS CT.
LAS CRUCES,
NEW MEXICO
88007
(575) 526-6260
FAX (575) 523-1660



would impose excessive structural stress on the building leading to the observed cracking in both walls and floor slabs.

Two consolidation tests were performed on the onsite clay soils, one on a sample from boring 7 with an in-situ moisture content of 13.9 percent and one from boring 8, which is in close proximity to the building, with an in-situ moisture content of 26.1 percent. The sample from boring 7 experienced an 8.45 percent increase in volume when inundated with water while the sample from boring 8 only experienced an increase in volume of 0.25 percent. As both of these samples have a similar plasticity index, these results show that it is very likely that the soils sampled in boring 8 had previously experienced an increase in volume on the order of 8 percent prior to sampling.

A comparison was made between the standard penetration test blow counts, or N-values, performed during this investigation and those performed during the original investigation by Western Technologies. It was observed that the N-values performed during this investigation, with the exception of boring 7, were significantly lower than those performed during the original investigation. The N-values performed in boring 7 were similar to those taken during the original investigation. This reduction in N-values is the direct result of the soil moisture increases observed beneath the building. In some cases, the observed moisture content had exceeded the plastic limit of the clays. When exposed to an increase in moisture, the shear strength of the clays is reduced. This can be seen indirectly in the reduction of N-values which is an indication of relative consistency as well as directly in the measurement of unconfined compressive strength and dry unit weight performed as part of this investigation. As the clay experiences an increase in moisture content, this will weaken and increase the compressibility of the clays which could lead to some foundation settlement, particularly in areas where the clay soils have a lower plasticity and possess a lower expansive potential.

A floor level survey was performed by Chavez-Grievies Consulting Engineers as a part of their investigation of the distress to the building. The survey shows the relative elevation differential of the floor slab throughout the entire building. As indicated by that survey, the existing floor slab varies in elevation by about 4.8 inches. As indicated by the original construction drawings, the floor slab was designed to be constructed at a uniform elevation of 5278 feet. Although some of the slab elevation differential indicated by the survey could be due to normal construction tolerances, it is obvious that at least some post-construction slab movements have occurred. It is understood that attempts have been made to tie the floor level survey into actual elevations to compare the 'as constructed' floor elevations to the post-construction elevations; however, to date those attempts have not been successful. That information would allow determining whether the slab has heaved or settled.

Based on an analysis of the fill material placed beneath the floor slab, it was determined that it meets the specifications for structural fill as recommended the original geotechnical report for the site. It was also observed that approximately 3 feet of fill required beneath the slab was present in all interior borings. However, the presence of 3 feet of fill material beneath the slab will

GEO-TEST, INC.
3204 RICHARDS LANE
SANTA FE,
NEW MEXICO
87507
(505) 471-1101
FAX (505) 471-2245

8528 CALLE ALAMEDA NE
ALBUQUERQUE,
NEW MEXICO
87113
(505) 857-0933
FAX (505) 857-0803

2805-A LAS VEGAS CT.
LAS CRUCES,
NEW MEXICO
88007
(575) 526-6260
FAX (575) 523-1660



not prevent the expansion/compression of the underlying clay soils due to increases in moisture content.

As part of the greater investigation, possible sources of the water beneath the building are being investigated by others. It is our understanding that those investigations have determined that there are no leaks in the water, sewer, or the geo-thermal heating and cooling lines entering the building which leaves surface waters from natural precipitation as being the only probable source of water. Since concrete flatwork is present around nearly the entire perimeter of the building, and the flatwork is generally sloped away from the building, it is considered unlikely that surface waters could migrate from the outer edges of the flatwork and travel beneath the building, particularly if the flatwork was placed directly on the native clay soils. However, if the concrete flatwork was placed on compacted fill soils used to raise the building area, and the fill consisted of the same fill used beneath the interior floor slab which is relatively permeable, it is considered possible that water could travel beneath the flatwork and beneath the building. Once the water has breached the perimeter of the building it could then travel through the permeable fill soils to other areas of the building allowing water to infiltrate the native clay in areas not immediately adjacent to the original infiltration point.

In addition, several planters are present around the structure which are immediately adjacent or in very close proximity to the structure. These planters create breaks in the sloped concrete flatwork which may allow for water to enter the subsurface soils in close proximity to the building.

On the exterior of the building there are multiple locations where concrete flatwork has cracked, separated and moved vertically. It is understood that all of the site flatwork was either placed directly onto the native clays or on shallow fill soils placed to grade the site during construction. As previously discussed, the native clay soils possess a medium to high expansive potential and upon significant moisture increase could easily heave concrete flatwork resulting in the damage which has occurred.

REMEDIAL RECOMMENDATIONS

The results of this investigation show that an increase in subsurface moisture content below the building has led to heave (upward movement) and possibly some settlement (downward movement) of the native clays supporting the building foundations and floor slabs. This movement is certainly a contributing factor, if not the sole factor, to the observed cracking and distress within the walls and floors of the building. Therefore, it is recommended that the source, or sources, of the moisture infiltration into the supporting soils be identified and halted.

To halt further infiltration, it is recommended that the site surveys conducted as part of the greater investigation into the site be consulted to identify areas of negative drainage surrounding the building such that these areas may be regraded, as required, to provide for positive drainage away from the structure as recommended in the original geotechnical report.

GEO-TEST, INC.
3204 RICHARDS LANE
SANTA FE,
NEW MEXICO
87507
(505) 471-1101
FAX (505) 471-2245

8528 CALLE ALAMEDA NE
ALBUQUERQUE,
NEW MEXICO
87113
(505) 857-0933
FAX (505) 857-0803

2805-A LAS VEGAS CT.
LAS CRUCES,
NEW MEXICO
88007
(575) 526-6260
FAX (575) 523-1660



In addition, it is recommended that backfill around all utility lines entering the building, including water, sewer, electrical and geo-thermal be overexcavated where they enter or exit the building and replaced with a compacted clay plug, or other means, to prevent migration of water along the utility lines. Since the physical properties of the backfill soils in the utility trenches is unknown, it is considered possible that the backfill material around the utility lines may be highly permeable which could lead to water migration along the trenches and beneath the structure. This is of particular concern where the geo-thermal lines enter the building since the geo-thermal field is located up-hill from the building in an area considered subject to flooding during periods of heavy precipitation.

It is recommended that all planters be removed and replaced with concrete flatwork or replaced with above grade planters with sealed bottoms with excess waters directed onto the adjacent concrete flatwork to drain away from the structure.

After the above remedial measures have been implemented, the building should be monitored over a period of time to determine if the moisture intrusion issue has been resolved and movements have stopped. In time, once the intrusion of excess moisture into the subsurface soils is mitigated, the soils will stabilize as the moisture currently beneath the building equilibrates and foundation movements will eventually cease. However, based on the high moisture contents observed during this investigation, and the high plastic nature of the subsurface soils, it should be anticipated that differential foundation movements will continue for several years after the moisture intrusion issue is resolved.

Should foundation movements continue to worsen during the monitoring period despite corrective measures, it may be necessary to install a cut-off trench around the entire perimeter of the structure. The cut-off trench should extend to a minimum depth of 12 inches into the underlying native clay soils and be lined with an impervious material such as bentonite or equivalent. Because the soils movement is expansive in nature, traditional underpinning techniques may not be practical for use on this site.

In regard to the concrete flatwork at the site, it is recommended that existing concrete flatwork which has experienced excessive movement and or damage be removed completely. The exposed native soils should then be scarified to a minimum depth of 8 inches, moisture conditioned to the optimum moisture content or above and compacted to between 90 and 94 percent of maximum dry density as determined by ASTM D-698. The new concrete flatwork should then be placed directly onto the compacted native soils. All exposed edges of the new concrete flat work should be turned-down a minimum of 16 inches, or to such an extent as to penetrate the underlying native clay soils a minimum of 12 inches, whichever is the greater depth, to minimize the possibility of moisture increases in the native soils beneath the flatwork. Positive drainage should be provided around all site flatwork as well as the building itself.

GEO-TEST, INC.
3204 RICHARDS LANE
SANTA FE,
NEW MEXICO
87507
(505) 471-1101
FAX (505) 471-2245

8528 CALLE ALAMEDA NE
ALBUQUERQUE,
NEW MEXICO
87113
(505) 857-0933
FAX (505) 857-0803

2805-A LAS VEGAS CT.
LAS CRUCES,
NEW MEXICO
88007
(575) 526-6260
FAX (575) 523-1660



CLOSURE

Our conclusions, recommendations and opinions presented herein are:

- 1) Based upon our evaluation and interpretation of the findings of the field and laboratory program.
- 2) Based upon an interpolation of soil conditions between and beyond the explorations.
- 3) Prepared in accordance with generally accepted professional geotechnical engineering principles and practice.

This report has been prepared for the sole use of Chavez-Grievess Consulting Engineers, specifically to aid in distress remediation for the Rita M. Marquez Elementary School and Anton Chico Middle School building in Anton Chico, New Mexico, and not for use by any third parties.

We make no other warranty, either expressed or implied. Any person using this report for bidding or construction purposes should perform such independent investigation as they deem necessary to satisfy themselves as to the surface and subsurface conditions to be encountered and the procedures to be used in the performance of work on this project. If conditions encountered during construction appear to be different than indicated by this report, this office should be notified.

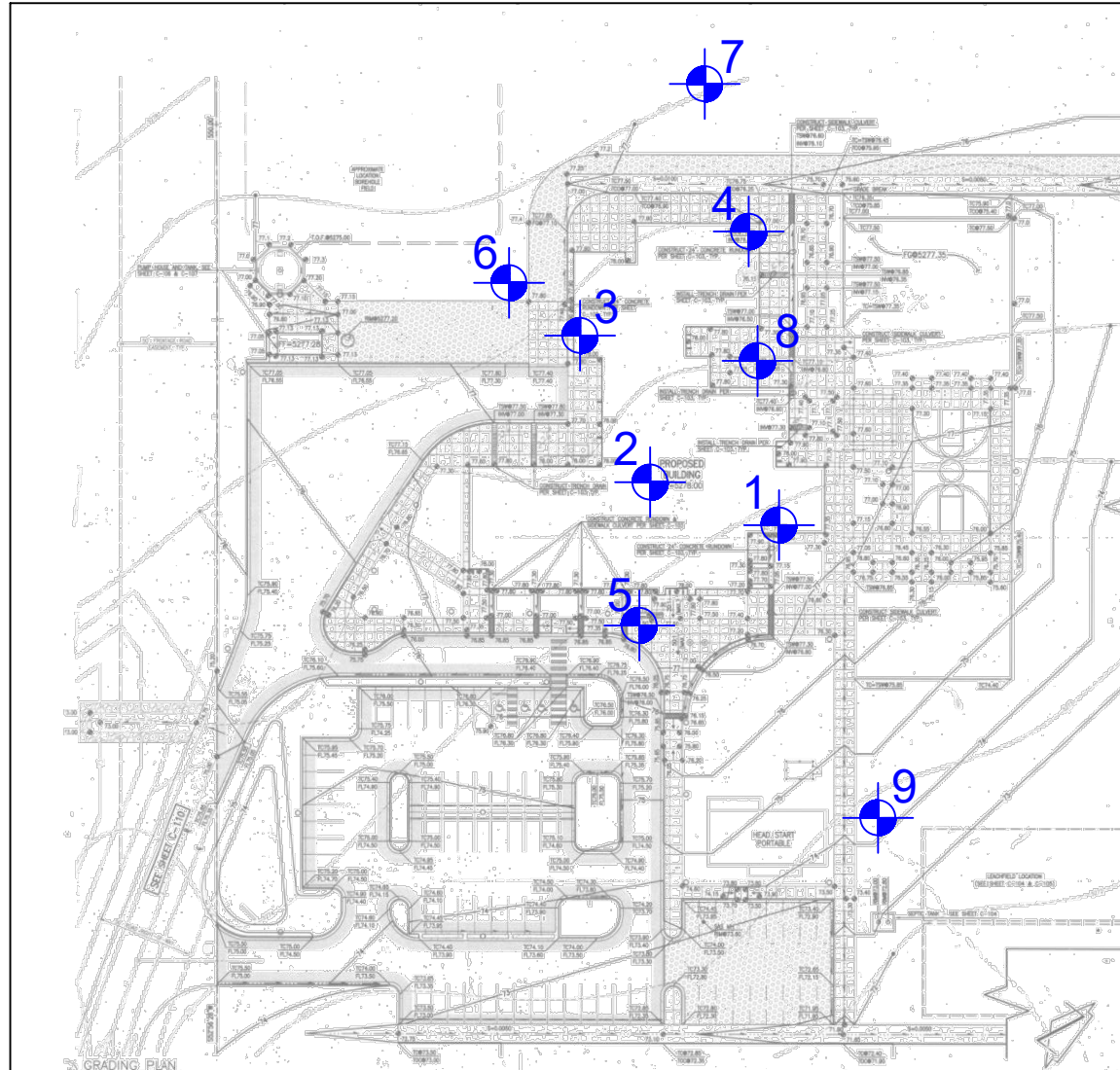
All soil samples will be discarded 60 days after the date of this report unless we receive a specific request to retain the samples for a longer period of time.

GEO-TEST, INC.
3204 RICHARDS LANE
SANTA FE,
NEW MEXICO
87507
(505) 471-1101
FAX (505) 471-2245

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BORING LOCATION MAP



Rita Marquez ES & Anton Chico MS
Anton Chico, New Mexico
Job No. 1-71213

Figure 1



GEO-TEST
GEOTECHNICAL ENGINEERING
AND MATERIAL TESTING

Type: Hand Auger



Project: Rita Marquez ES & Anton Chico MS

Date: 01/15/2018

Project No: 1-71213

Elevation:

Type: Hand Auger

LOG OF TEST BORINGS

GROUNDWATER DEPTH

NO: 2 Hallway East of Kitchen

During Drilling: none

After 24 Hours:

DEPTH (Ft)	LOG	SAMPLE					SUBSURFACE PROFILE		N blows/ft			
		SAMPLE INTERVAL	TYPE	CP / 1.75"	MOISTURE %	DRY DENSITY (pcf)	USC	DESCRIPTION				
							CONCRETE	6 inches CONCRETE floor slab over 3 inches ENGINEERED FILL over VAPOR BARRIER				
			GB		5							
			GB		5		SM	SILTY SAND, non-plastic, dry, light brown				
5			SS	6								
			GB		16		CL	CLAY, medium to high plasticity, moist to very moist, dark reddish brown				
10			GB		20							
								Stopped Auger @ 10 feet				
15												

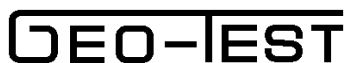
LOG OF TEST BORING 1-71213 ANTON CHICO SCHOOLS.GPJ GEO TEST.GDT 2/13/18

LEGEND

SS - Split Spoon
AC - Auger Cuttings
UD/SL - Undisturbed Sleeve

AMSL - Above Mean Sea Level
CS - Continuous Sampler
UD - Undisturbed
ST - Shelby Tube

Stratification lines represent approximate boundaries between soil types. Transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to factors other than those present at the time measurements were made.



Project: Rita Marquez ES & Anton Chico MS

Date: 01/15/2018

Project No: 1-71213

Elevation:

Type: Hand Auger

LOG OF TEST BORINGS

GROUNDWATER DEPTH

NO: 3 Classroom 134

During Drilling: none

After 24 Hours:

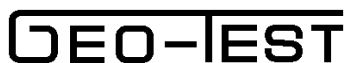
DEPTH (Ft)	LOG	SAMPLE					SUBSURFACE PROFILE		N blows/ft			
		SAMPLE INTERVAL	TYPE	CP / 1.75"	MOISTURE %	DRY DENSITY (pcf)	USC	DESCRIPTION				
							CONCRETE	6 inches CONCRETE floor slab over 3 inches ENGINEERED FILL over VAPOR BARRIER				
			GB		7		SM	SILTY SAND with GRAVEL, non-plastic, slightly moist, loose, brown				
			SS	8								
5			GB		23							
			GB		22		CL	CLAY, medium to high plasticity, very moist, dark reddish brown				
			GB		20							
10								Stopped Auger @ 10 feet				
15												

LEGEND

SS - Split Spoon
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Project: Rita Marquez ES & Anton Chico MS

Date: 01/15/2018

Project No: 1-71213

Elevation:

Type: Hand Auger

LOG OF TEST BORINGS

GROUNDWATER DEPTH

NO: 4 Kindergarten 130

During Drilling: none

After 24 Hours:

DEPTH (Ft)	LOG	SAMPLE					SUBSURFACE PROFILE		N blows/ft 20 40 60 80			
		SAMPLE INTERVAL	TYPE	CP / 1.75"	MOISTURE %	DRY DENSITY (pcf)	USC	DESCRIPTION				
							CONCRETE	5 inches CONCRETE floor slab over 5 inches ENGINEERED FILL over VAPOR BARRIER				
			GB		8		SC	CLAYEY SAND with GRAVEL, low plasticity, medium dense, slightly moist, brown				
			SS	14								
5			GB		26							
			GB		23		CL	CLAY, medium to high plasticity, very moist, dark reddish brown				
10			GB		21							
								Stopped Auger @ 10 feet				
15												

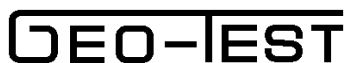
LOG OF TEST BORING 1-71213 ANTON CHICO SCHOOLS.GPJ GEO TEST.GDT 2/13/18

LEGEND

SS - Split Spoon
AC - Auger Cuttings
UD/SL - Undisturbed Sleeve

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Project: Rita Marquez ES & Anton Chico MS
 Date: 01/20/2018 Project No: 1-71213
 Elevation: Type: 6.5" OD HSA

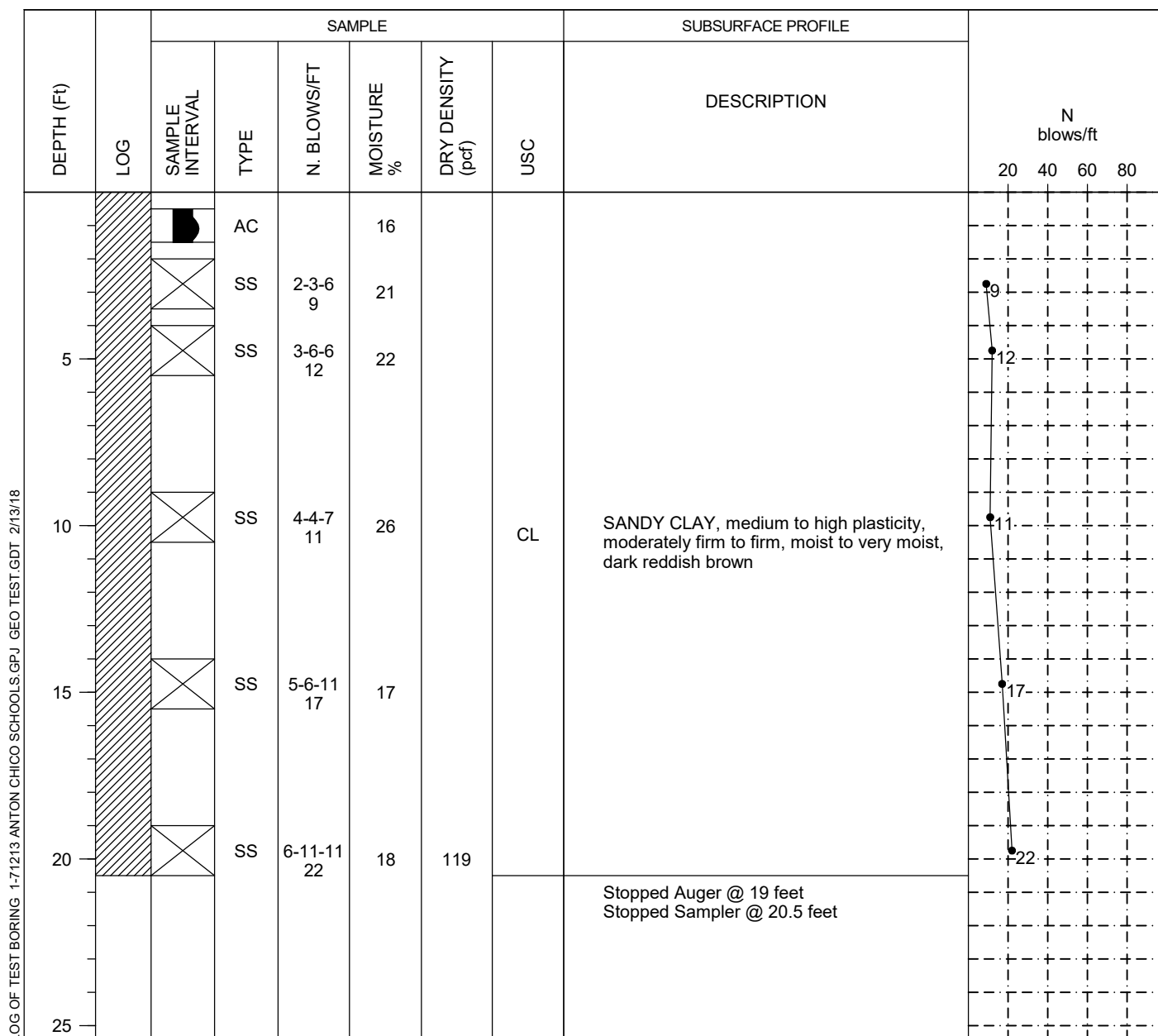
LOG OF TEST BORINGS

GROUNDWATER DEPTH

NO: 5 Main Entrance

During Drilling: none

After 24 Hours:

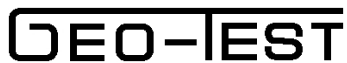


LEGEND

SS - Split Spoon
 AC - Auger Cuttings
 UD/SL - Undisturbed Sleeve

AMSL - Above Mean Sea Level
 CS - Continuous Sampler
 UD - Undisturbed
 ST - Shelby Tube

Stratification lines represent approximate boundaries between soil types. Transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to factors other than those present at the time measurements were made.



Project: Rita Marquez ES & Anton Chico MS

Date: 01/20/2018

Project No: 1-71213

Elevation:

Type: 6.5" OD HSA

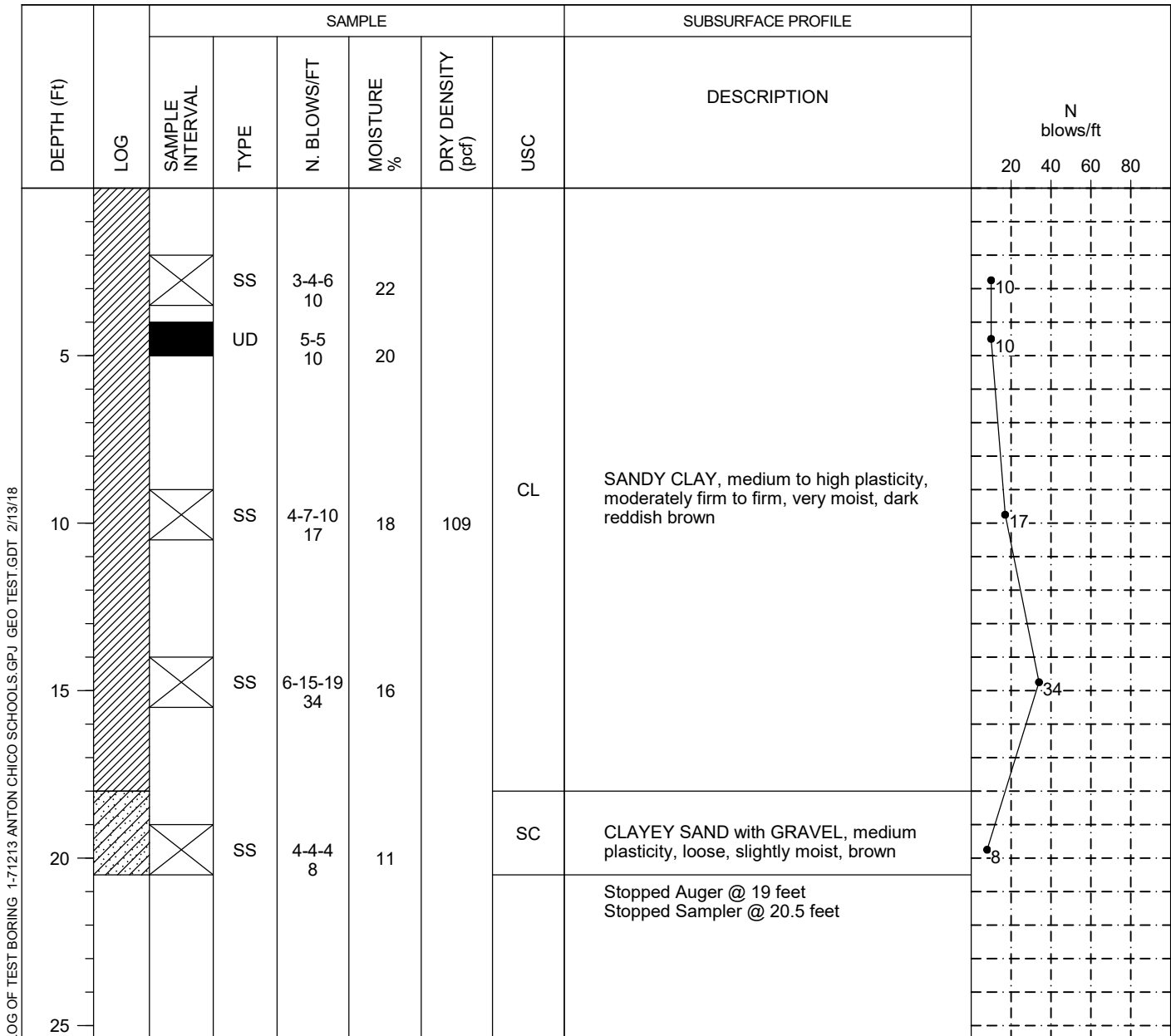
LOG OF TEST BORINGS

GROUNDWATER DEPTH

NO: 6 North of Building

During Drilling: none

After 24 Hours:

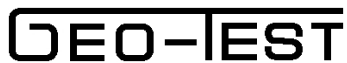


LEGEND

SS - Split Spoon
AC - Auger Cuttings
UD/SL - Undisturbed Sleeve

AMSL - Above Mean Sea Level
CS - Continuous Sampler
UD - Undisturbed
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Project: Rita Marquez ES & Anton Chico MS

Date: 01/20/2018

Project No: 1-71213

Elevation:

Type: 6.5" OD HSA

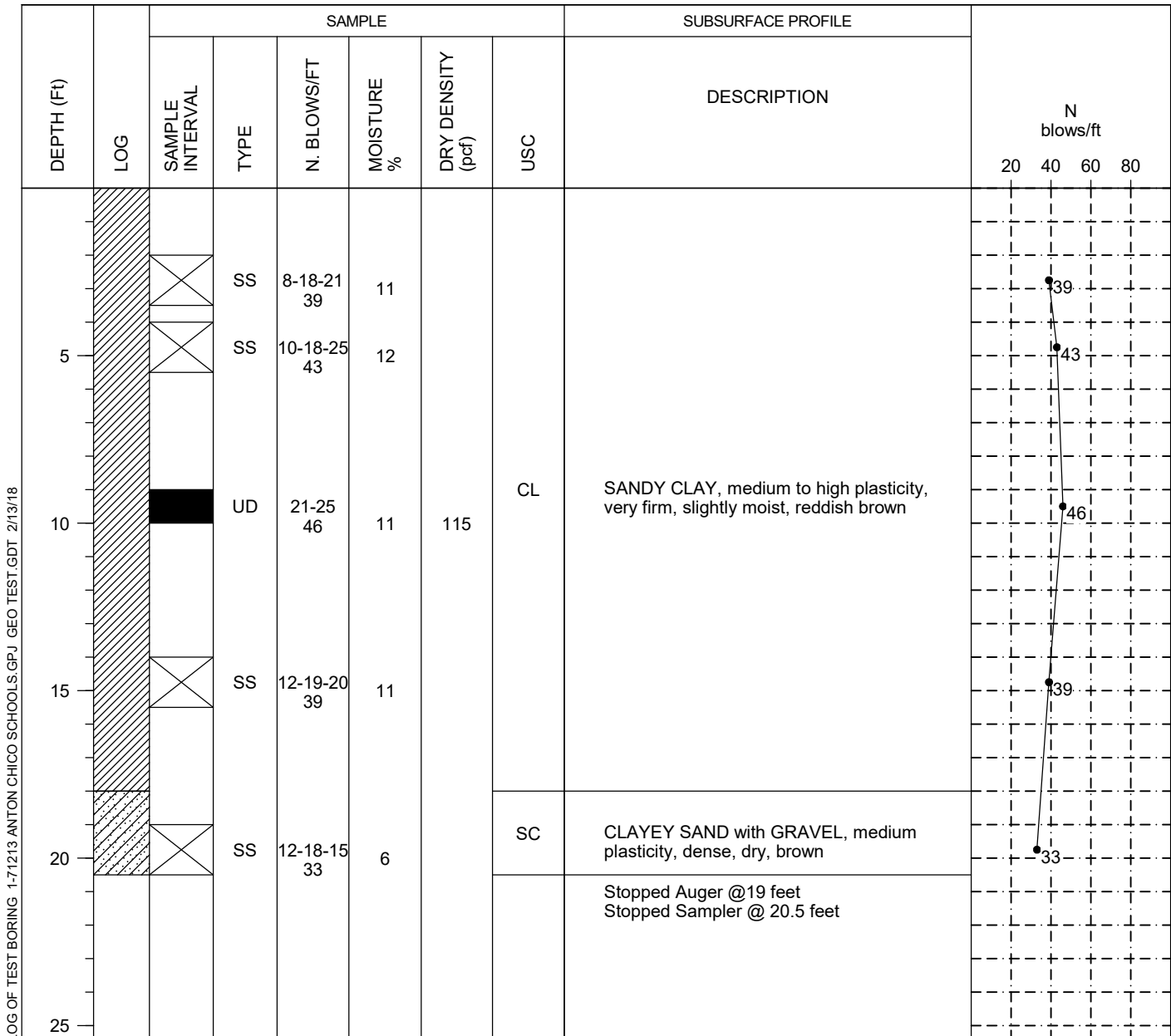
LOG OF TEST BORINGS

GROUNDWATER DEPTH

NO: 7 NE of Building

During Drilling: none

After 24 Hours:

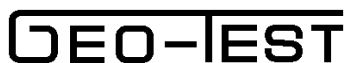


LEGEND

SS - Split Spoon
AC - Auger Cuttings
UD/SL - Undisturbed Sleeve

AMSL - Above Mean Sea Level
CS - Continuous Sampler
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Project: Rita Marquez ES & Anton Chico MS

Date: 01/20/2018

Project No: 1-71213

Elevation:

Type: 6.5" OD HSA

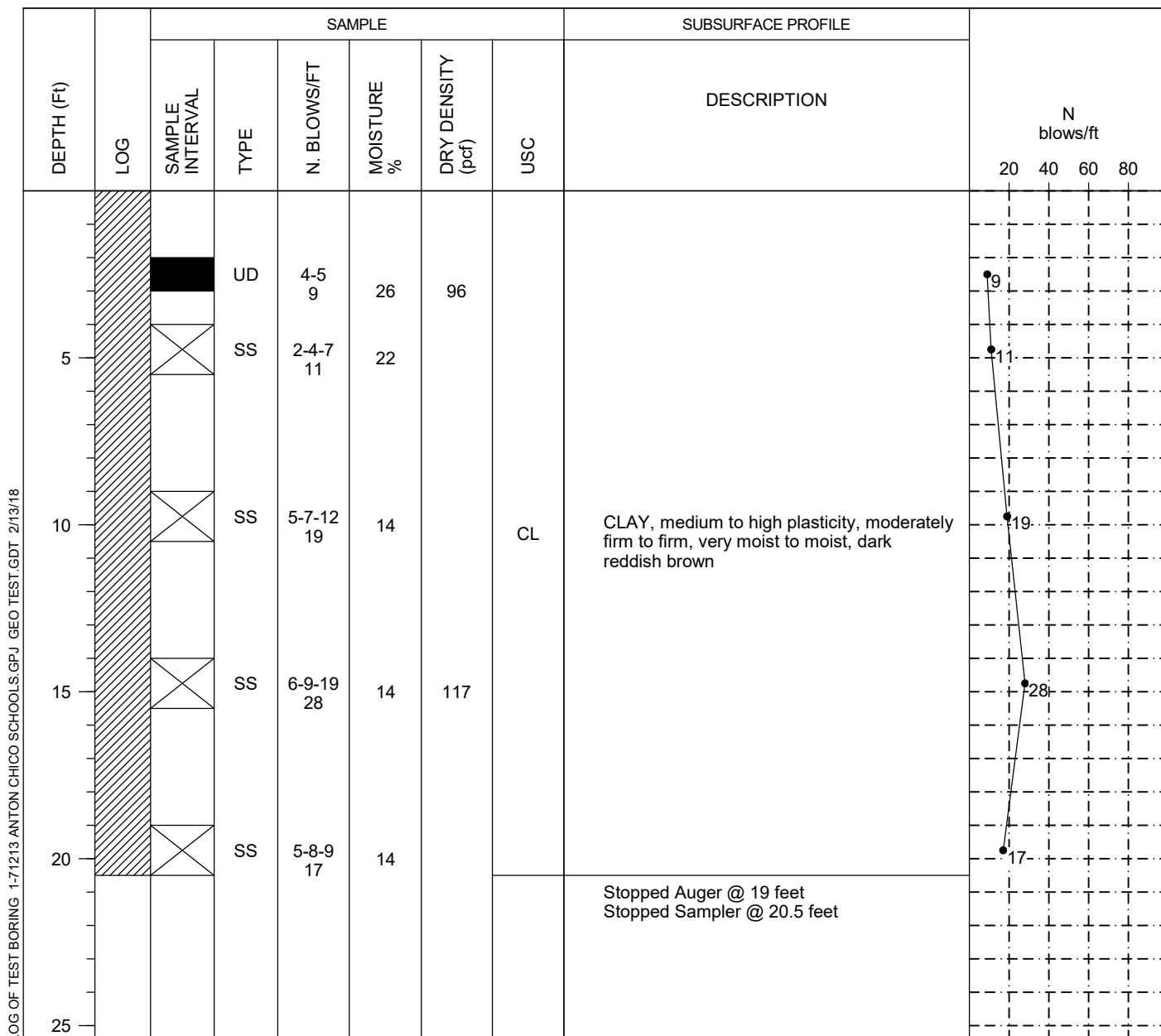
LOG OF TEST BORINGS

GROUNDWATER DEPTH

NO: 8 SE Entrance

During Drilling: none

After 24 Hours:

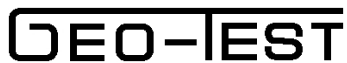


LEGEND

SS - Split Spoon
AC - Auger Cuttings
UD/SL - Undisturbed Sleeve

AMSL - Above Mean Sea Level
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Stratification lines represent approximate boundaries between soil types. Transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to factors other than those present at the time measurements were made.



Project: Rita Marquez ES & Anton Chico MS

Date: 01/20/2018

Project No: 1-71213

Elevation:

Type: 6.5" OD HSA



LOG OF TEST BORINGS

GROUNDWATER DEPTH

NO: 9 Headstart Sidewalk

During Drilling: none

After 24 Hours:

DEPTH (Ft)	LOG	SAMPLE						SUBSURFACE PROFILE	N blows/ft			
		SAMPLE INTERVAL	TYPE	N. BLOWS/FT	MOISTURE %	DRY DENSITY (pcf)	USC	DESCRIPTION				
5			AC		13		CL	SANDY CLAY, high plasticity, slightly moist, reddish brown				
								Stopped Auger @ 5 feet				
10												
15												
20												
25												

LOG OF TEST BORING 1-71213 ANTON CHICO SCHOOLS.GPJ GEO TEST.GDT 2/13/18

LEGEND

SS - Split Spoon
AC - Auger Cuttings
UD/SL - Undisturbed Sleeve

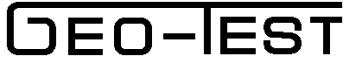
AMSL - Above Mean Sea Level
CS - Continuous Sampler
UD - Undisturbed
ST - Shelby Tube

Stratification lines represent approximate boundaries between soil types. Transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to factors other than those present at the time measurements were made.

SUMMARY OF LABORATORY RESULTS

Sheet 1 of 3

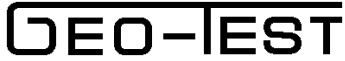
SUMMARY OF LABORATORY RESULTS 1-71213 ANTON CHICO SCHOOLS.GPJ GEO TEST.GDT 2/13/18

						SIEVE ANALYSIS PERCENT PASSING											
TEST HOLE	DEPTH (FEET)	UNIFIED CLASS	(%) MOIST	LL	PI	NO 200	NO 100	NO 40	NO 10	NO 4	3/8"	1/2"	3/4"	1"	1 1/2"	2"	4"
1	1.0	SC	7.5	23	9	20	25	41	64	78	91	95	100				
1	3.0		8.7														
1	4.0	CL	24.9	43	23	90	96	99	99	100							
1	5.0	CH	22.9	54	37	91	96	97	99	100							
1	8.0		22.9														
2	1.0	SM	5.1	NP	NP	15	22	39	67	93	99	100					
2	2.0		4.9														
2	6.0		16.1														
2	9.0	CL	20.1	46	27	87	94	98	99	100							
3	2.0	SM	6.7	NP	NP	14	19	32	53	66	80	90	100				
3	4.0	CH	22.6	51	35	91	96	97	98	99	99	99	100				
3	6.0		22.1														
3	8.0		20.3														
4	2.0	SC	7.6	23	8	16	20	37	61	74	89	94	100				
4	4.0	CH	25.7	54	38	91	96	98	99	100							
4	6.0	CL	22.7	48	28	94	97	99	100								
4	9.0		21.2														
5	1.0	CL	15.6	39	23	51	65	80	94	99	100						
5	3.0	CL	21.0	45	25	73	82	92	97	99	100						
						LL = LIQUID LIMIT PI = PLASTICITY INDEX NP = NON PLASTIC or NO VALUE						Project: Rita Marquez ES & Anton Chico MS Location: Anton Chico, New Mexico Number: 1-8-2021					
												1-8-2021 PSOC Meeting Page 231					


SUMMARY OF LABORATORY RESULTS

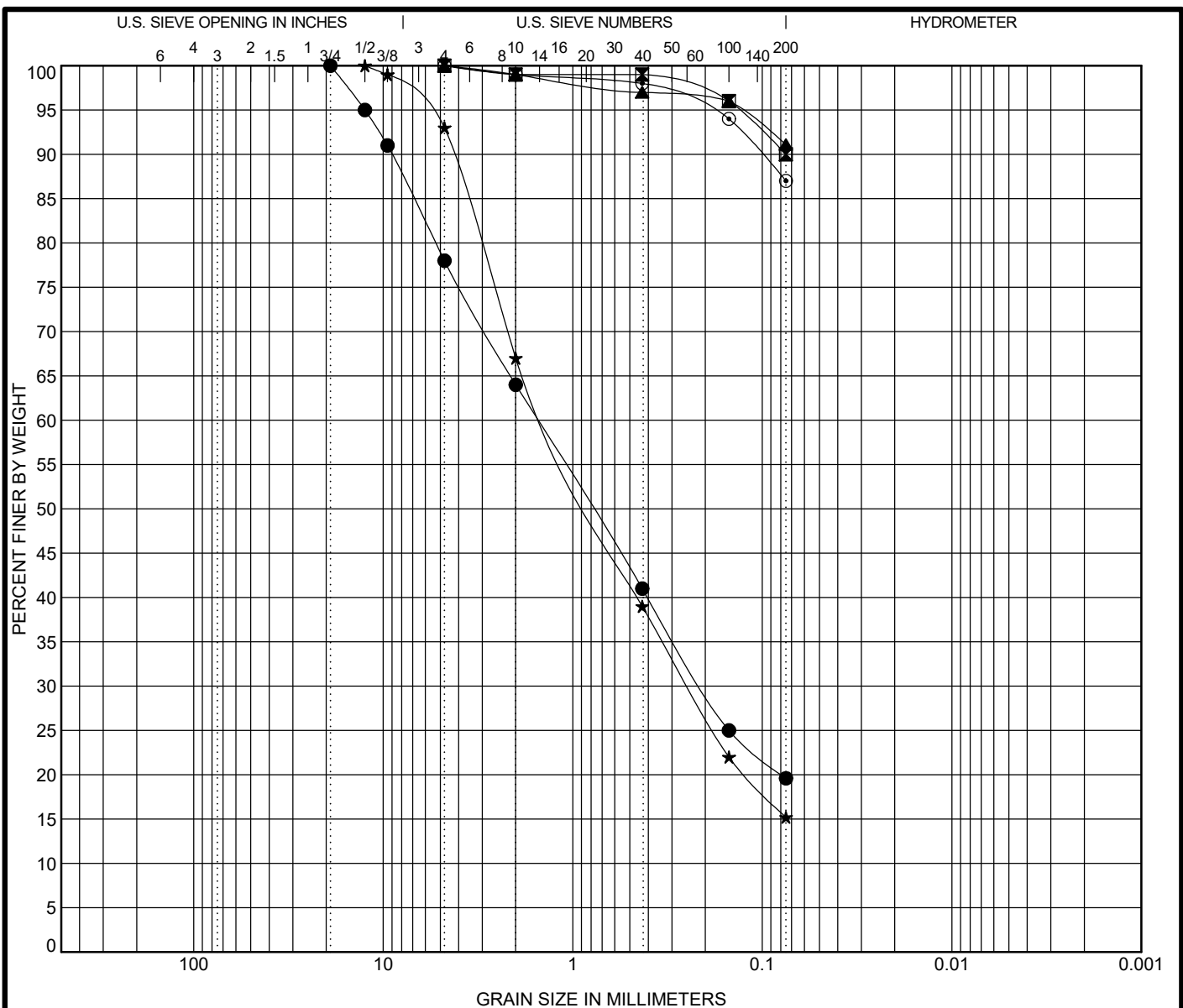
Sheet 2 of 3

SUMMARY OF LABORATORY RESULTS 1-71213 ANTON CHICO SCHOOLS.GPJ GEO TEST.GDT 2/13/18

						SIEVE ANALYSIS PERCENT PASSING											
TEST HOLE	DEPTH (FEET)	UNIFIED CLASS	(%) MOIST	LL	PI	NO 200	NO 100	NO 40	NO 10	NO 4	3/8"	1/2"	3/4"	1"	1 1/2"	2"	4"
5	5.0		22.0														
5	10.0	CH	26.4	65	41	84	92	98	100								
5	15.0		16.6														
5	20.0		18.4														
6	3.0		21.8														
6	5.0	CH	19.5	51	30	70	85	93	97	97	98	98	100				
6	10.0		17.6														
6	15.0	CL	16.4	43	26	77	87	95	99	99	100						
6	20.0		10.9														
7	3.0		11.5														
7	5.0		11.6														
7	10.0	CL	11.5	48	31	76	84	94	100								
7	15.0		11.5														
7	20.0	SC	5.8	28	13	38	48	64	75	84	94	94	100				
8	3.0		26.1														
8	5.0	CH	22.5	50	30	88	94	99	100								
8	10.0		13.6														
8	15.0		14.2														
8	20.0	CL	14.5	42	25	67	76	89	96	100							
						LL = LIQUID LIMIT PI = PLASTICITY INDEX NP = NON PLASTIC or NO VALUE						Project: Rita Marquez ES & Anton Chico MS Location: Anton Chico, New Mexico Number: 1-8-2021					
												1-8-2021 PSOC Meeting Page 232					

SUMMARY OF LABORATORY RESULTS

						SIEVE ANALYSIS PERCENT PASSING											
TEST HOLE	DEPTH (FEET)	UNIFIED CLASS	(%) MOIST	LL	PI	NO 200	NO 100	NO 40	NO 10	NO 4	3/8"	1/2"	3/4"	1"	1 1/2"	2"	4"
9	2.5	CH	13.0	51	31	82	92	99	100								
						LL = LIQUID LIMIT PI = PLASTICITY INDEX NP = NON PLASTIC or NO VALUE						Project: Rita Marquez ES & Anton Chico MS					
												Location: Anton Chico, New Mexico					
												Number: 11-8-2021					
												11-8-2021 PSCOC Meeting Page 233					



COBBLES	GRAVEL		SAND			SILT OR CLAY
	coarse	fine	coarse	medium	fine	

Specimen Identification			Classification			LL	PL	PI	Cc	Cu
●	1	1.0	CLAYEY SAND with GRAVEL(SC)			23	14	9		
☒	1	4.0	LEAN CLAY(CL)			43	20	23		
▲	1	5.0	FAT CLAY(CH)			54	17	37		
★	2	1.0	SILTY SAND(SM)			NP	NP	NP		
◎	2	9.0	LEAN CLAY(CL)			46	19	27		
Specimen Identification			D100	D60	D30	D10	%Gravel	%Sand	%Silt	%Clay
●	1	1.0	19	1.531	0.208		22.0	58.4	19.6	
☒	1	4.0	4.75				0.0	10.0	90.0	
▲	1	5.0	4.75				0.0	8.9	91.1	
★	2	1.0	12.5	1.362	0.246		7.0	77.8	15.2	
◎	2	9.0	4.75				0.0	13.0	87.0	

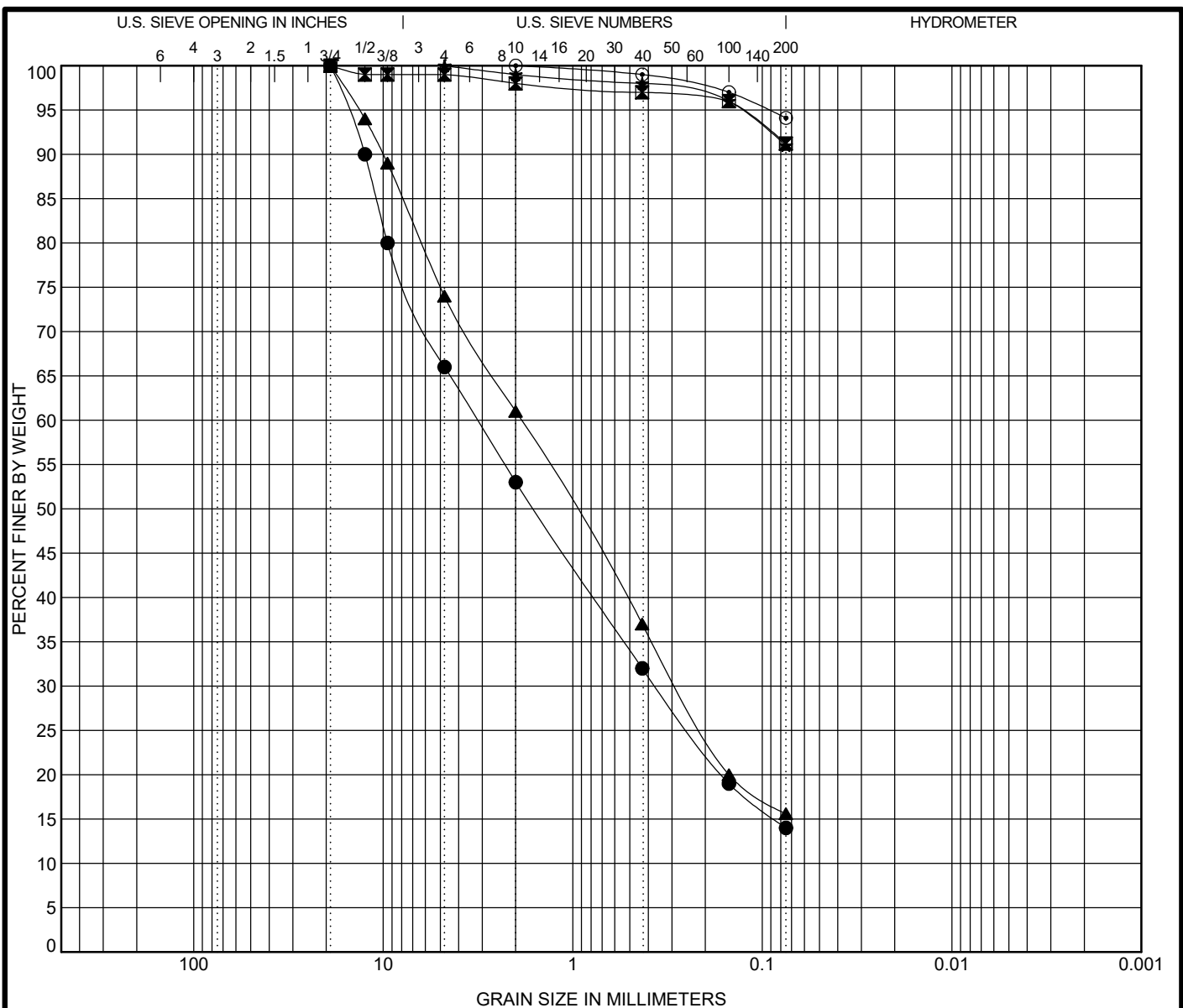
GEO-TEST

GRAIN SIZE DISTRIBUTION

Project: Rita Marquez ES & Anton Chico MS

Location: Anton Chico, New Mexico

Number: 1-71213



COBBLES	GRAVEL		SAND			SILT OR CLAY
	coarse	fine	coarse	medium	fine	

Specimen Identification		Classification				LL	PL	PI	Cc	Cu
●	3	2.0	SILTY SAND with GRAVEL(SM)				NP	NP	NP	
■	3	4.0	FAT CLAY(CH)				51	16	35	
▲	4	2.0	CLAYEY SAND with GRAVEL(SC)				23	15	8	
★	4	4.0	FAT CLAY(CH)				54	16	38	
◎	4	6.0	LEAN CLAY(CL)				48	20	28	
Specimen Identification		D100	D60	D30	D10	%Gravel	%Sand	%Silt	%Clay	
●	3	2.0	19	3.186	0.366	34.0	52.0	14.0		
■	3	4.0	19			1.0	7.8	91.2		
▲	4	2.0	19	1.876	0.279	26.0	58.4	15.6		
★	4	4.0	4.75			0.0	9.0	91.0		
◎	4	6.0	2			0.0	5.9	94.1		

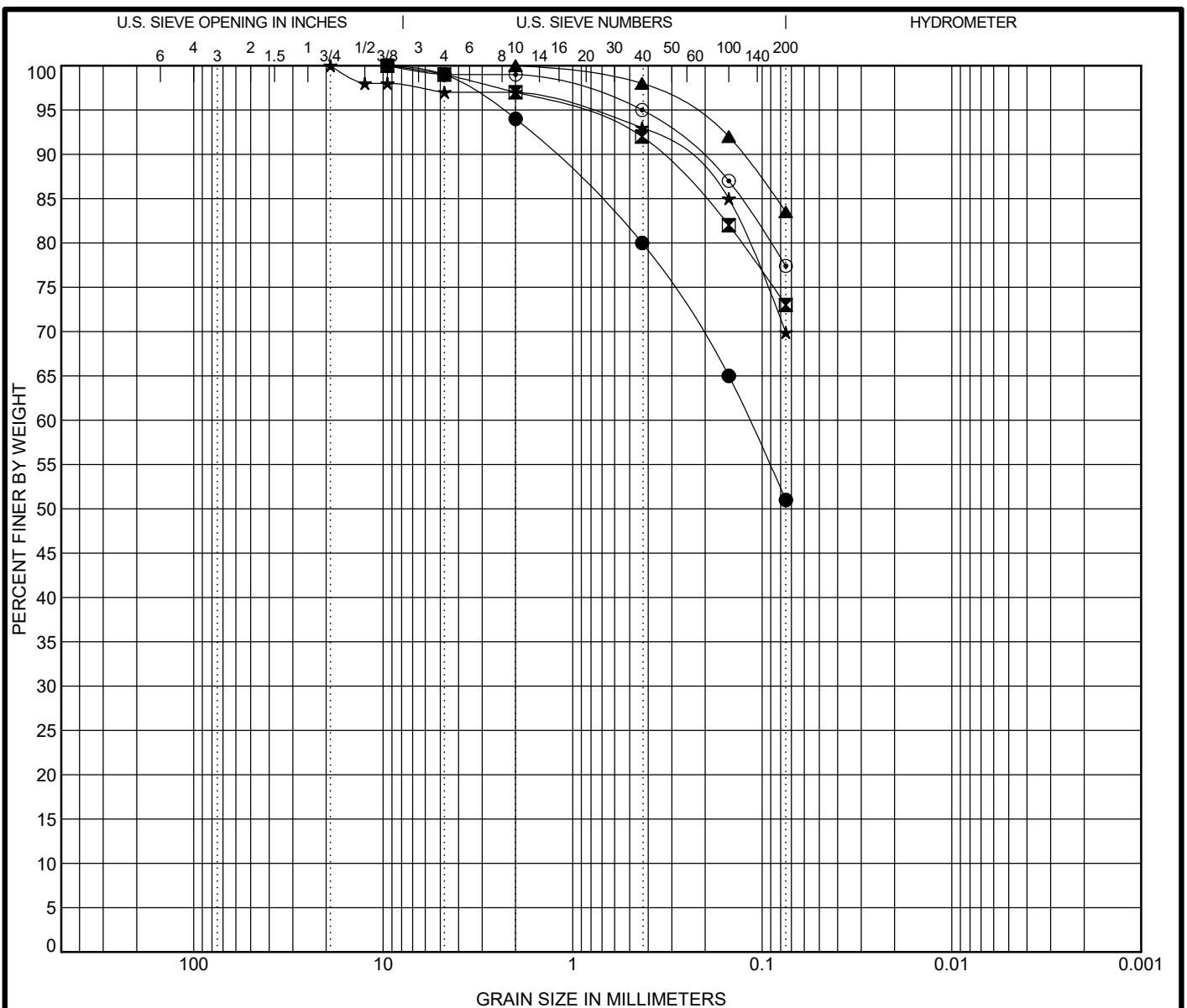
GEO-TEST

GRAIN SIZE DISTRIBUTION

Project: Rita Marquez ES & Anton Chico MS

Location: Anton Chico, New Mexico

Number: 1-71213



COBBLES	GRAVEL		SAND			SILT OR CLAY
	coarse	fine	coarse	medium	fine	

Specimen Identification			Classification			LL	PL	PI	Cc	Cu
●	5	1.0	SANDY LEAN CLAY(CL)			39	16	23		
⊠	5	3.0	LEAN CLAY with SAND(CL)			45	20	25		
▲	5	10.0	FAT CLAY with SAND(CH)			65	24	41		
★	6	5.0	SANDY FAT CLAY(CH)			51	21	30		
⊙	6	15.0	LEAN CLAY with SAND(CL)			43	17	26		
Specimen Identification			D100	D60	D30	D10	%Gravel	%Sand	%Silt	%Clay
●	5	1.0	9.5	0.117			1.0	48.0	51.0	
⊠	5	3.0	9.5				1.0	26.0	73.0	
▲	5	10.0	2				0.0	16.5	83.5	
★	6	5.0	19				3.0	27.1	69.9	
⊙	6	15.0	9.5				1.0	21.6	77.4	

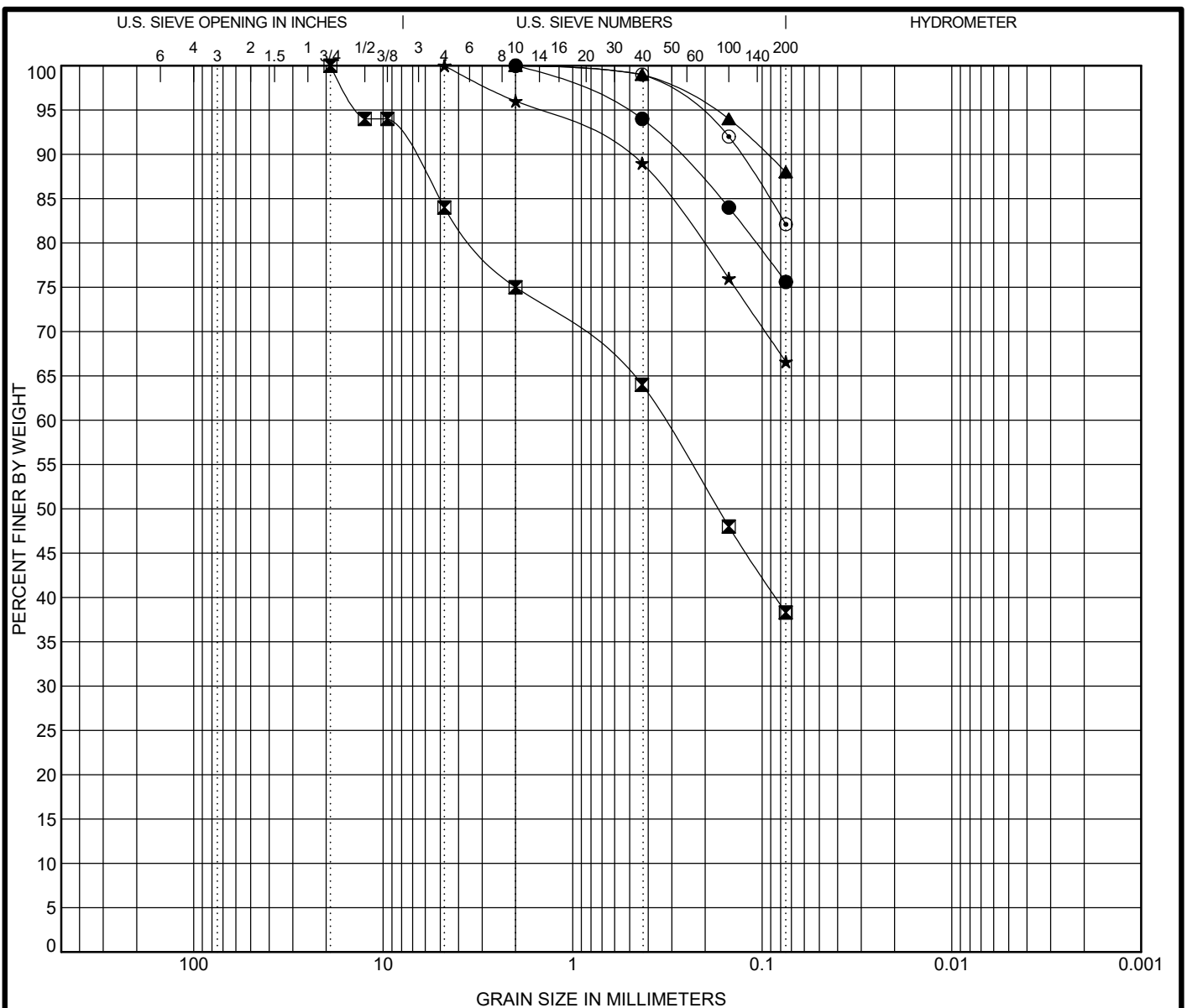
GEO-TEST

GRAIN SIZE DISTRIBUTION

Project: Rita Marquez ES & Anton Chico MS

Location: Anton Chico, New Mexico

Number: 1-71213



COBBLES	GRAVEL		SAND			SILT OR CLAY
	coarse	fine	coarse	medium	fine	

Specimen Identification			Classification				LL	PL	PI	Cc	Cu
●	7	10.0	LEAN CLAY with SAND(CL)				48	17	31		
⊠	7	20.0	CLAYEY SAND with GRAVEL(SC)				28	15	13		
▲	8	5.0	FAT CLAY(CH)				50	20	30		
★	8	20.0	SANDY LEAN CLAY(CL)				42	17	25		
⊙	9	2.5	FAT CLAY with SAND(CH)				51	20	31		
Specimen Identification			D100	D60	D30	D10	%Gravel	%Sand	%Silt	%Clay	
●	7	10.0	2				0.0	24.4	75.6		
⊠	7	20.0	19	0.33			16.0	45.7	38.3		
▲	8	5.0	2				0.0	12.0	88.0		
★	8	20.0	4.75				0.0	33.4	66.6		
⊙	9	2.5	2				0.0	17.9	82.1		

GEO-TEST

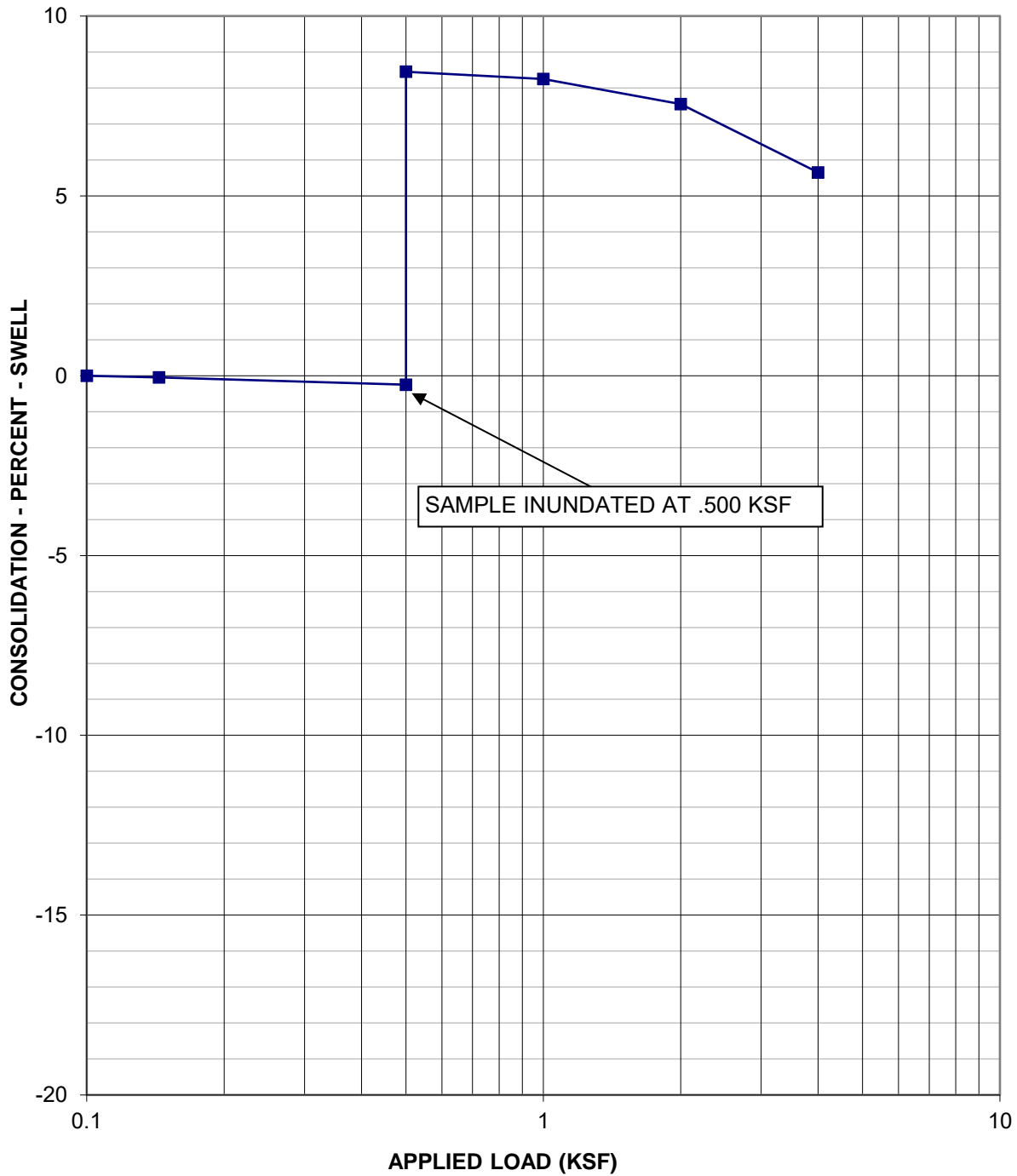
GRAIN SIZE DISTRIBUTION

Project: Rita Marquez ES & Anton Chico MS

Location: Anton Chico, New Mexico

Number: 1-71213

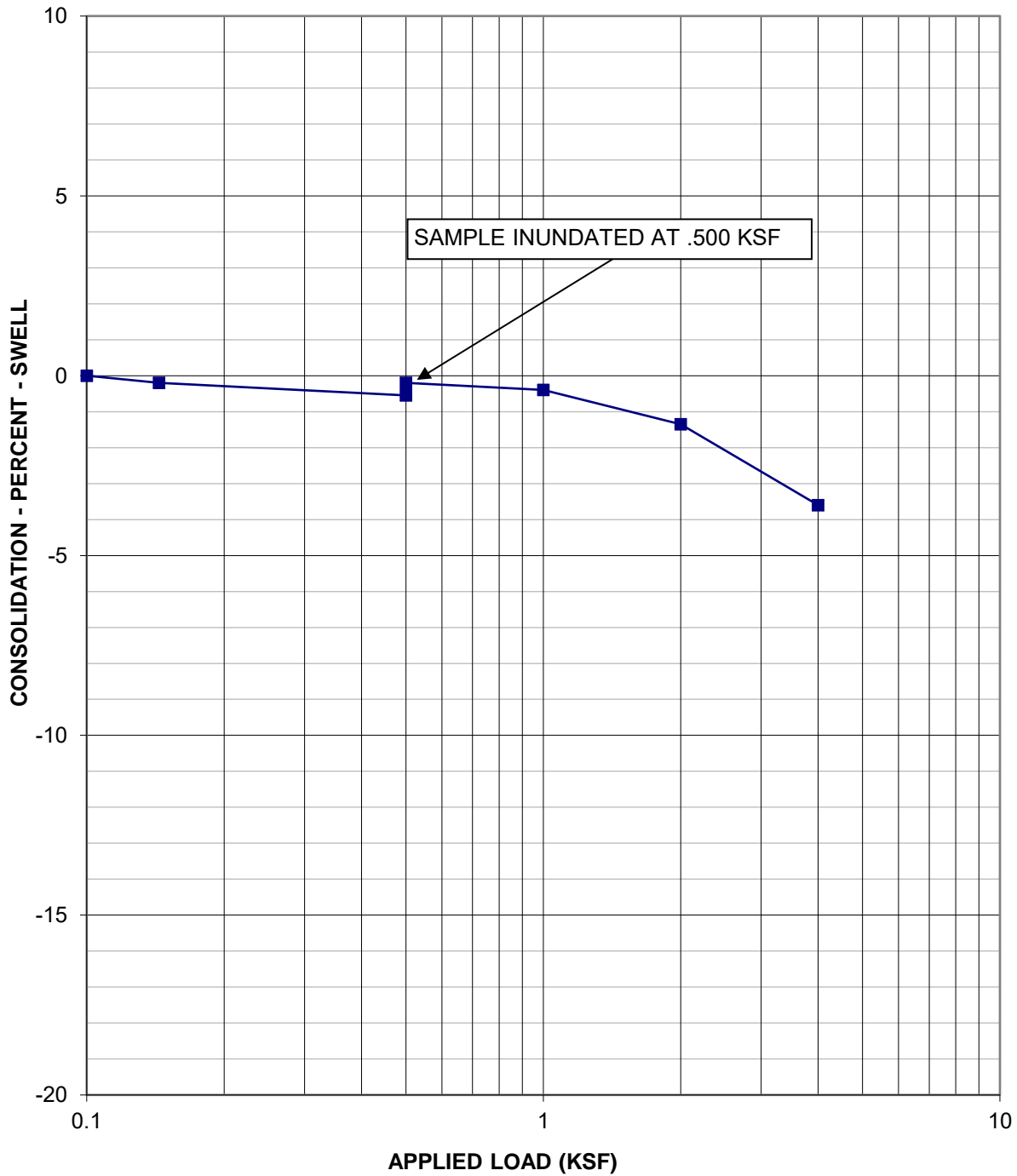
CONSOLIDATION TEST RESULT
Anton Chico Schools
JOB NO. 1-71213
Boring #7 @ 10'
Clay



INITIAL MOISTURE CONTENT = 13.9 %
INITIAL DRY DENSITY = 115.2 PCF



CONSOLIDATION TEST RESULT
Anton Chico Schools
JOB NO. 1-71213
Boring #8 @ 3'
Clay



INITIAL MOISTURE CONTENT = 26.1 %
INITIAL DRY DENSITY = 96.4 PCF



Soil Volume Change Worksheet

FHA Swell Test

Project: Rita Marquez Elementary/Anton Chico MS Project #: 1-71213
Sample Location: 1 @ 5 feet
Sample Description: High Plasticity Clay
Soil Moisture: Air-Dried

Initial Wet Weight with Ring: grams

Initial Moisture		
Wet Weight:	<input type="text" value="118.2"/>	grams
Dry Weight:	<input type="text" value="115"/>	grams

Final Moisture		
Wet Weight:	<input type="text"/>	grams
Dry Weight:	<input type="text"/>	grams

Initial Wet Density: 101.8 pcf
Initial Dry Density: 99.1 pcf

Initial Moisture: 3%
Final Moisture: #DIV/0!

Elapse Time	Read Time	Dial Reading	Swell Index	PVC
Start	9:00:00 AM	0	0	0
30 minutes	9:30:00 AM	17	2675	3.3
1 hour	10:00:00 AM	19	2975	3.7
2 hours	11:00:00 AM	19	2975	3.7

Potential Volume Change Category

<input type="text"/>	0-2	Non-Critical
<input checked="" type="text" value="X"/>	2-4	Marginal
<input type="text"/>	4-6	Critical
<input type="text"/>	6+	Very Critical



Soil Volume Change Worksheet

FHA Swell Test

Project: Rita Marquez Elementary/Anton Chico MS

Project #: 1-71213

Sample Location: 3 @ 4 feet

Sample Description: High Plasticity Clay

Soil Moisture: Air-Dried

Initial Wet Weight with Ring: 342.3 grams

Initial Moisture

Wet Weight: 107.7 grams

Dry Weight: 106.5 grams

Final Moisture

Wet Weight: grams

Dry Weight: grams

Initial Wet Density: 100.1 pcf

Initial Dry Density: 99.0 pcf

Initial Moisture: 1%

Final Moisture: #DIV/0!

Elapse Time	Read Time	Dial Reading	Swell Index	PVC
Start	12:40	0	0	0
30 minutes	13:10	17	2675	3.3
1 hour	13:40	18	2800	3.45
2 hours	14:40	19	2975	3.7

Potential Volume Change Category

	0-2	Non-Critical
X	2-4	Marginal
	4-6	Critical
	6+	Very Critical



Soil Volume Change Worksheet

FHA Swell Test

Project: Rita Marquez Elementary/Anton Chico MS

Project #: 1-71213

Sample Location: 4 @ 4 feet

Sample Description: High Plasticity Clay

Soil Moisture: Air-Dried

Initial Wet Weight with Ring: 344.2 grams

Initial Moisture

Wet Weight: 118.4 grams

Dry Weight: 115.2 grams

Final Moisture

Wet Weight: grams

Dry Weight: grams

Initial Wet Density: 102.0 pcf

Initial Dry Density: 99.3 pcf

Initial Moisture: 3%

Final Moisture: #DIV/0!

Elapse Time	Read Time	Dial Reading	Swell Index	PVC
Start	8:30	0	0	0
30 minutes	9:00	18	2500	3.45
1 hour	9:30	20	2800	3.9
2 hours	10:30	21	3300	4.1

Potential Volume Change Category

	0-2	Non-Critical
	2-4	Marginal
X	4-6	Critical
	6+	Very Critical





Unconfined Compression

Undisturbed Cylindrical Sample

Project	Rita Marquez Elementary/Anton Chico Middle School
Job #	1-71213
Sample	5 @ 20 feet
Description of Soil	Sandy Clay
Date	1/31/2018

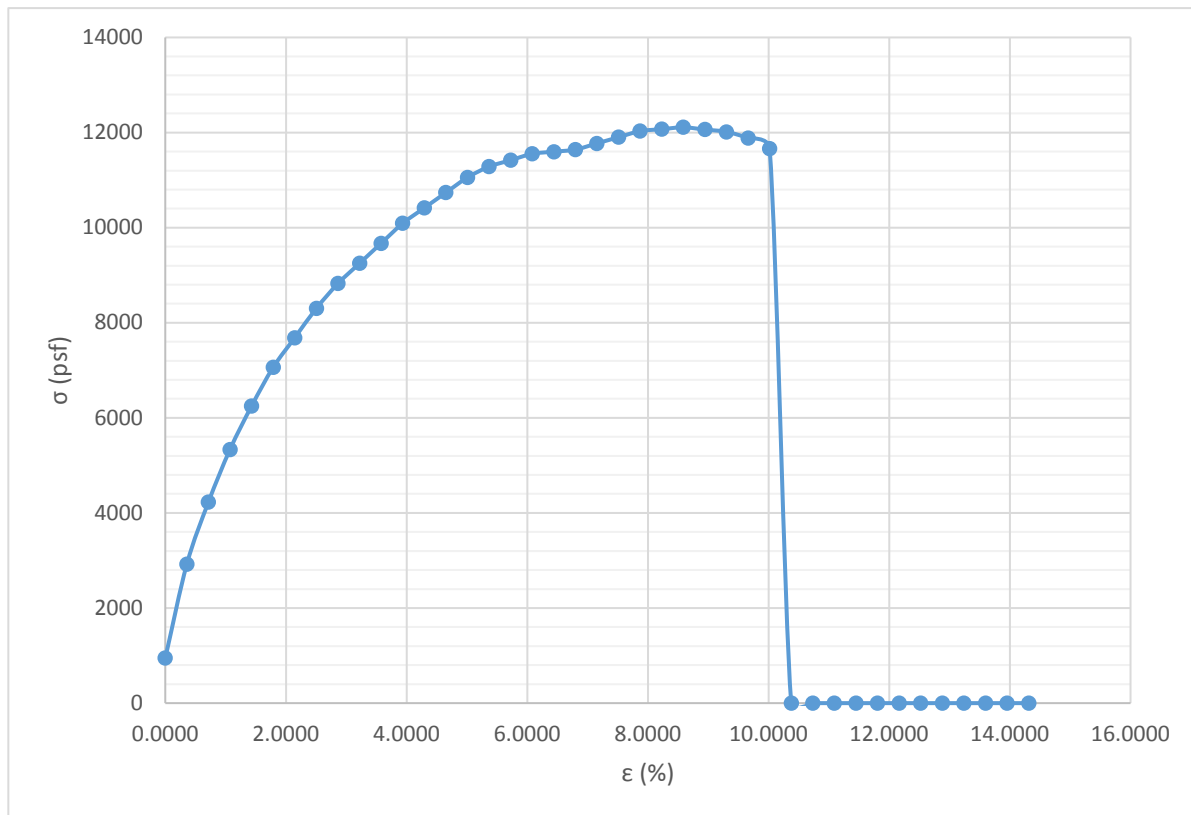
Initial Height (L_0)	2.795 in
Specimen Diameter (D_0)	1.392 in
Weight of Specimen	150.9 grams

Moisture Content	
Wet Weight (g)	150.4
Dry Weight (g)	132.6

Initial Area Of Specimen	1.521838 in ²
Volume of Specimen	4.253537 in ³

Moisture	0.1342
	13.42 %

Unit Weight (γ)	135.15 pcf
Dry Unit Weight (γ_d)	119.15 pcf



$q_u =$ 12109.64 psf

$S_u =$ 6054.82 psf



Unconfined Compression

Undisturbed Cylindrical Sample

Project	Rita Marquez Elementary/Anton Chico Middle School
Job #	1-71213
Sample	6 @ 10 feet
Description of Soil	Sandy Clay
Date	1/31/2018

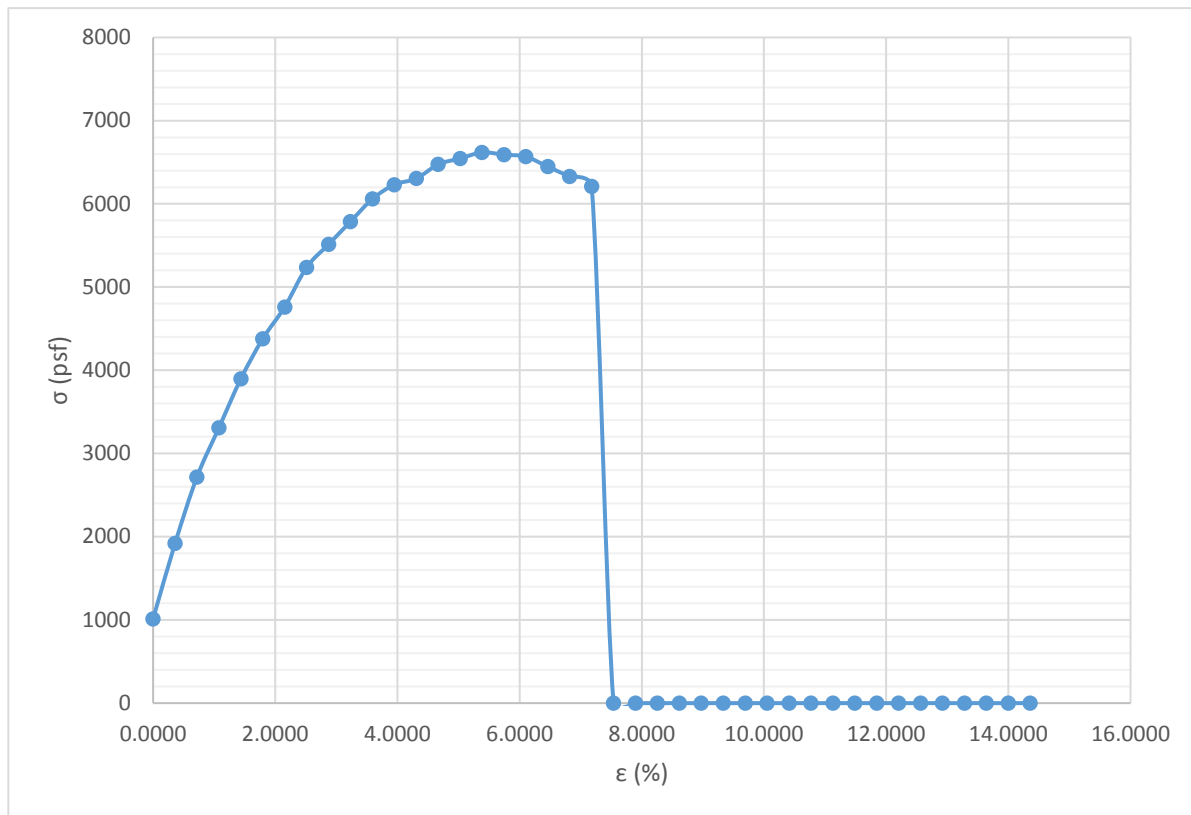
Initial Height (L_0)	2.786 in
Specimen Diameter (D_0)	1.345 in
Weight of Specimen	132.8 grams

Moisture Content	
Wet Weight (g)	132.3
Dry Weight (g)	112.5

Initial Area Of Specimen	1.420805 in ²
Volume of Specimen	3.958362 in ³

Moisture	0.1760
	17.60 %

Unit Weight (γ)	127.81 pcf
Dry Unit Weight (γ_d)	108.68 pcf



$q_u =$ 6616.7 psf

$S_u =$ 3308.35 psf



Unconfined Compression

Undisturbed Cylindrical Sample

Project	Rita Marquez Elementary/Anton Chico Middle School
Job #	1-71213
Sample	8 @ 15 feet
Description of Soil	Sandy Clay
Date	1/31/2018

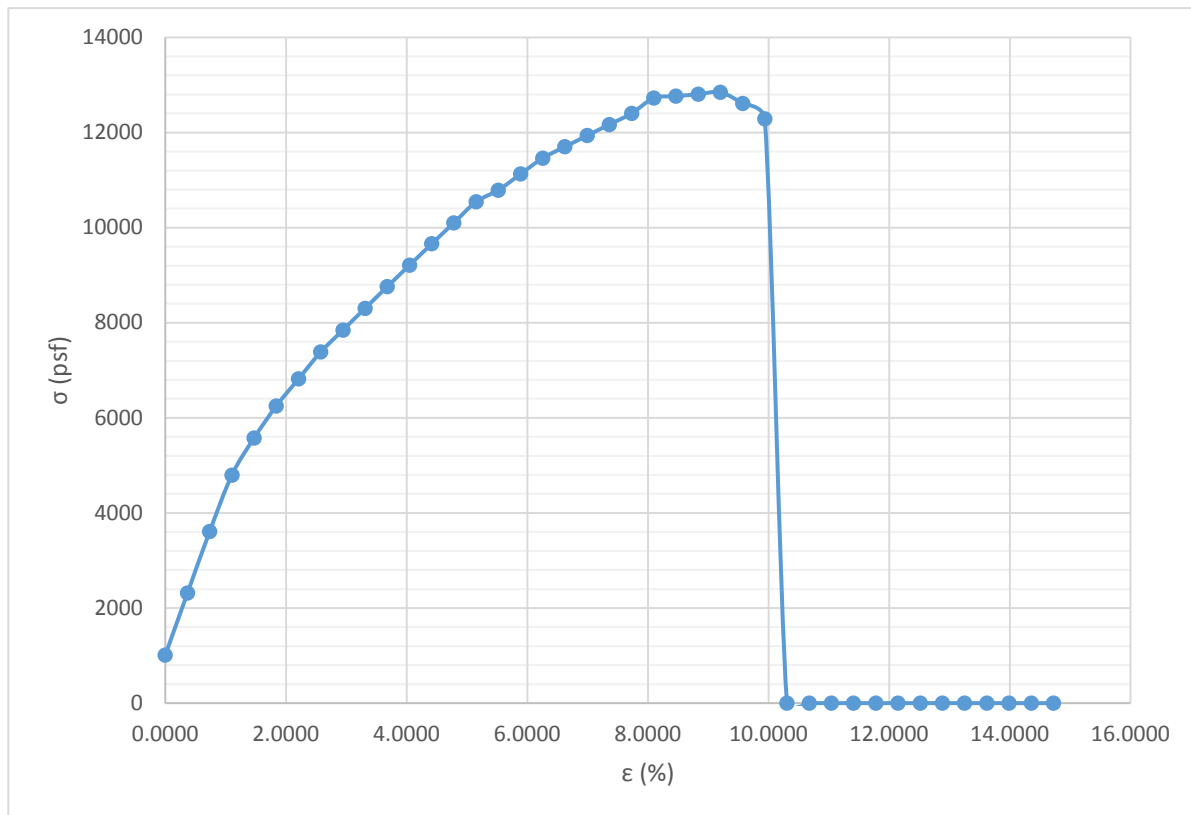
Initial Height (L_0)	2.717 in
Specimen Diameter (D_0)	1.347 in
Weight of Specimen	135.4 grams

Moisture Content	
Wet Weight (g)	134.9
Dry Weight (g)	118.1

Initial Area Of Specimen	1.425033 in ²
Volume of Specimen	3.871816 in ³

Moisture	0.1423
	14.23 %

Unit Weight (γ)	133.22 pcf
Dry Unit Weight (γ_d)	116.63 pcf



$q_u =$ 12845.32 psf

$S_u =$ 6422.661 psf

APPENDIX C

PROJECT LOCATION

RITA M. MARQUEZ ELEMENTARY/ANTON CHICO MIDDLE SCHOOL, ANTON CHICO, NEW MEXICO

SURVEY INFORMATION

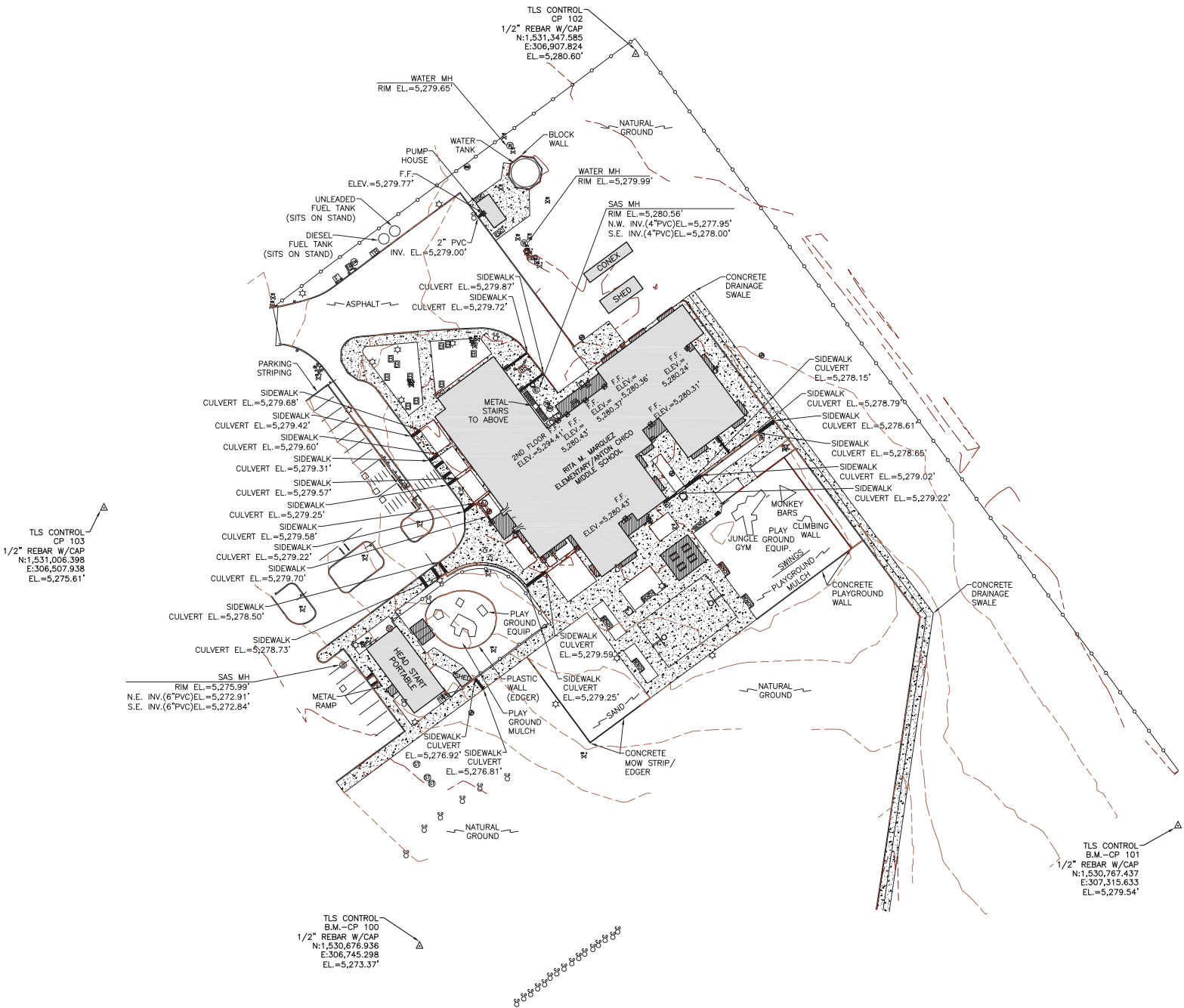
TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY TERRA LAND SURVEYS, LLC. CORRALES, NEW MEXICO JANUARY 2018.

PROJECT BENCHMARK

PROJECT BENCHMARK CP 100 IS A TERRA LAND SURVEY 1/2" REBAR WITH PLASTIC CAP STAMPED "TERRA CONTROL" ELEVATION = 5,273.37 FEET (NAVD 1988 VERTICAL DATUM).

NOTES

1. FIELD SURVEY PERFORMED IN JANUARY 2018.
2. TOPOGRAPHIC SURVEY WAS COMPILED UTILIZING GRID COORDINATES REFERENCED TO NAD 1988 EAST ZONE. PRIMARY HORIZONTAL AND VERTICAL CONTROL WAS ESTABLISHED USING NATIONAL GEODETIC SURVEY'S ONLINE POSITIONING SERVICE (OPUS) AND GNSS RTK METHODS. COMBINED GROUND TO GRID FACTOR IS 0.9997231339/1.000276942773 SCALED AROUND 0,0.
3. ELEVATIONS SHOWN FOR PIPES ARE INVERT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
4. CONTOURS SHOWN HEREON ARE AT A ONE FOOT INTERVAL REFERENCED TO THE NAVD 88 VERTICAL DATUM.
5. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL OF THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE
6. PIPE SIZES AND MATERIAL TYPES FOR MANHOLES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEYS, VISUAL INSPECTIONS AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE PIPE SIZES AND MATERIAL TYPES ARE EXACT BUT DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.



LEGEND

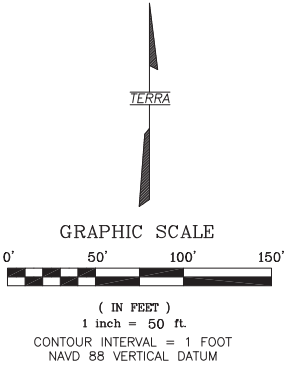
- FOUND CONTROL MONUMENT (AS NOTED)
- AIR CONDITIONER UNIT
- TRANSFORMER
- ELECTRIC BOX
- ELECTRIC METER
- LIGHT POLE
- TELEPHONE PULL BOX
- GREASE TRAP
- SANITARY SEWER MANHOLE
- SAS CLEAN OUT
- SEPTIC TANK
- WATER MANHOLE
- WATER METER
- FIRE HYDRANT
- WATER SHUT OFF
- WATER VALVE
- IRRIGATION VALVE
- FIRE DEPARTMENT CONNECTION
- HOT BOX DETECTOR
- UNKNOWN VALVE
- ROOF DRAIN
- FINISH FLOOR
- GEO-TEST
- BOULDER
- SIGN
- DOUBLE POST SIGN
- BOLLARD
- FLAG POLE
- BENCH
- PICNIC TABLE
- BASKETBALL GOAL
- GATE
- TRASH CAN
- SPOT ELEVATION
- CHAIN LINK FENCE
- CONCRETE HATCH
- METAL GRATE HATCH
- BUILDING HATCH
- COVERED PORCH HATCH
- DETECTABLE WARNING SURFACE HATCH

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER A. MEDINA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 15702, DO HEREBY CERTIFY THAT THIS TOPOGRAPHIC AND BOUNDARY SURVEY AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE.

Christopher A. Medina
CHRISTOPHER A. MEDINA, NMPLS NO. 15702

Jan. 26, 2018
DATE



TOPOGRAPHIC SURVEY FOR
RITA M. MARQUEZ ELEMENTARY
ANTON CHICO MIDDLE SCHOOL
ANTON CHICO, NEW MEXICO

TERRA LAND SURVEYS, LLC

P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513

DRAWN BY: MWE	PROJECT NO.: 2018-004	
CHECKED BY: CAM	DATE: JANUARY 2018	SHEET 1 OF 1

APPENDIX D



SCOTT M MCGEE PE, LLC
CIVIL ENGINEER

FROM PROJECT INCEPTION TO
CONSTRUCTION COMPLETION

ANTON CHICO ELEMENTARY SCHOOL EVALUATION

On January 3, 2018 a site visit was made to the referenced school located east of NM Highway 119 in Anton Chico, NM. The purpose of the visit was to evaluate as-built conditions of the school which has experienced some cracking and separation in both slabs and walls along with differential settlement. Variations of up to 4-1/2" **have been recorded throughout the building floor elevation. Exterior concrete flatwork has also cracked and separated.**

The school is a single-story 20,270 SF building completed in 2014. The undeveloped site slopes down typically from the northwest to the southeast at 1-2% slope. Heavy rains were reported in September, 2017 which had negative impacts on the building and its surroundings. Rainfall data has been included (see attached) for several nearby rain gages in Las Vegas and Villanueva for the month of September, **2017. The rain fall data unfortunately is provided on a daily basis so the rain intensity can't be** determined. There is a **substantial difference between a 3" rain occurring in a 2-hour period versus a light rain falling over 12-24 hours with a 3" total depth. A recent as-built survey was performed in** January, 2018 to accurately reflect site conditions.

Exterior Site Review: The front (plan south) side of the building has concrete channels constructed from the building apron to the front parking lot which convey roof runoff away from the building. Most of the area adjacent to the SE side of the building is concrete-surfaced. Sidewalk culverts with steel plate surfacing convey runoff under walkways where needed. The rear of the classroom wing has sidewalks built against the building. A concrete drainage swale has been constructed beyond that to route offsite surface runoff around the building. The plan west side of the building is the service drive area and is also mostly impervious. An area north of the service drive however had evidence of ponded water close to the building. This area had adverse grades which prevented runoff from draining away from the building.

The developed runoff from the building roof is carried away from the structure with impervious surface swales. Grading improvements on the east side of the building direct most offsite flows around the building. One area appears to trap the offsite flow between the water storage tank and the NW corner of the classroom building. Offsite surface flow could pond in this area which coincides with the geothermal bore field area. The location of the bore field also coincides with the high point of the terrain adjacent to the building.

The mechanical plans for the building indicate that a 5'-deep trench was constructed from the bore field to route the piping into the building. This trench location occurs in the area where offsite flows could possibly pond on the surface. Depending on the level of compaction of the trench backfill, this could potentially be a conduit allowing water to migrate under the building foundation.

Current Location: Elev: 5765 ft. Lat: 35.2666° N Lon: -105.3572° W
Station: VILLANUEVA, NM US USC00299496

Observation Time Temperature: 0730 Observation Time Precipitation: 0730

Year	Month	Day	Temperature (F)		Precipitation				Evaporation		Soil Temperature (F)							
			24 Hrs. Ending at Observation Time		24 Hour Amounts Ending at Observation Time				At Obs. Time		4 in. Depth		8 in. Depth					
			Max.	Min.	At Obs. Time	Rain, Melted Snow, Etc. (in)	Falling	Snow, Ice Pellets, Hail (in)	Falling	Snow, Ice Pellets, Hail, Ice on Ground (in)	24 Hour Wind Movement (mi)	Amount of Evap. (in)	Ground Cover (see *)	Max.	Min.	Ground Cover (see *)	Max.	Min.
2017	09	01	93	54	55	0.04		0.0		0.0								
2017	09	02	86	55	55	0.02		0.0		0.0								
2017	09	03	92	54	55	0.00		0.0		0.0								
2017	09	04	90	55	55	0.00		0.0		0.0								
2017	09	05	79	46	53	0.00		0.0		0.0								
2017	09	06	87	53	55	0.00		0.0		0.0								
2017	09	07	92	51	55	0.00		0.0		0.0								
2017	09	08	89	51	52	1.11		0.0		0.0								
2017	09	09	84	47	52	0.00		0.0		0.0								
2017	09	10	84	52	60	0.00		0.0		0.0								
2017	09	11	87	60	60	0.00		0.0		0.0								
2017	09	12	89	55	56	0.58		0.0		0.0								
2017	09	13	88	56	57	0.00		0.0		0.0								
2017	09	14	85	53	54	0.00		0.0		0.0								
2017	09	15	82	52	53	0.00		0.0		0.0								
2017	09	16	83	48	49	0.00		0.0		0.0								
2017	09	17	77	48	50	0.25		0.0		0.0								
2017	09	18	83	50	61	0.00		0.0		0.0								
2017	09	19	84	61	61	0.00		0.0		0.0								
2017	09	20	86	53	54	0.00		0.0		0.0								
2017	09	21	86	50	61	0.00		0.0		0.0								
2017	09	22	84	61	61	0.03		0.0		0.0								
2017	09	23	71	49	50	0.00		0.0		0.0								
2017	09	24	79	41	49	0.00		0.0		0.0								
2017	09	25	79	49	50	0.00		0.0		0.0								
2017	09	26	64	49	50	1.10		0.0		0.0								
2017	09	27	57	50	51	2.55		0.0		0.0								
2017	09	28	60	47	49	0.55		0.0		0.0								
2017	09	29	56	48	51	0.19		0.0		0.0								
2017	09	30	73	51	52	0.52		0.0		0.0								
Summary			81	52		6.94		0.0										

Empty, or blank, cells indicate that a data observation was not reported.

Ground Cover: 1=Grass; 2=Fallow; 3=Bare Ground; 4=Brome grass; 5=Sod; 6=Straw mulch; 7=Grass muck; 8=Bare muck; 0=Unknown

"s" This data value failed one of NCDC's quality control tests.

"T" values in the Precipitation or Snow category above indicate a "trace" value was recorded.

"A" values in the Precipitation Flag or the Snow Flag column indicate a multiday total, accumulated since last measurement, is being used.

Data value inconsistency may be present due to rounding calculations during the conversion process from SI metric units to standard imperial units.

APPENDIX E



FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

KEYED NOTES

- 1. CRACK GAGE #1
- 2. CRACK GAGE #2
- 3. CRACK GAGE #3
- 4. CRACK GAGE #4
- 5. CRACK GAGE #5
- 6. CRACK GAGE #6
- 7. CRACK GAGE #7
- 8. CRACK GAGE #8
- 9. CRACK GAGE #9
- 10. CRACK GAGE #10
- 11. CRACK GAGE #11
- 12. TELL TALE #1
- 13. TELL TALE #2
- 14. TELL TALE #3
- 15. TELL TALE #4
- 16. TELL TALE #5
- 17. TELL TALE #6
- 18. TELL TALE #7
- 19. TELL TALE #8
- 20. TELL TALE #9
- 21. TELL TALE #10
- 22. TELL TALE #11
- 23. TELL TALE #12
- 24. TELL TALE #13
- 25. TELL TALE #14
- 26. TELL TALE #15
- 27. TELL TALE #16
- 28. TELL TALE #17
- 29. TELL TALE #18



RECORD DRAWINGS APRIL 2015
The Architect has compiled for and delivered to the Owner a set of Record Documents conforming to the construction records of the Contractor as provided to the Architect. This set of documents consists of corrected plans showing the reported location of the work. These Record Drawings have been prepared, in part, based upon information furnished by others. While the information submitted by the Contractor and incorporated by the Architect into the Record Documents is assumed to be reliable, the Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Those relying on these Record Documents are advised to obtain independent verification of their accuracy before applying it for any purpose.



Rita M. Marquez
Elementary/Anton Chico
Middle School
Construction Documents

Anton Chico, New Mexico 87711
November, 2012

ISSUE:
DATE:
PROJECT NO: 404
CAD DWG FILE:
DRAWN BY: BZ
CHECKED BY: GH8

SHEET TITLE
FLOOR PLAN-
CRACK GAGE/ TELL TALE
LOCATIONS

APPENDIX F



4500 Bogan Ave NE
Albuquerque, New Mexico 87109
505-296-1757 office
EIN 71-0970433

INVOICE

Invoice Date	Invoice #
Jan-27-2018	3467A

Billing Address
Chavez-Grievess Consulting Engineers 4700 Lincoln Rd NE #102 Albuquerque, New Mexico 87109
Claim #

Site Address
Anton Chico Middle School La Loma, New Mexico 87724

Order Date	Comp Date
Jan-27-2018	Jan-27-2018

Site Phone #

Technician	Stephanie Barks
------------	-----------------

DESCRIPTION	SUB TOTAL (\$)
C LEAK DETECTION, Commercial Leak Detection	3,039.76
TOTAL	\$ 3,039.76
TOTAL PAYMENTS MADE	\$ 3,039.76
AMOUNT DUE	\$ 0.00

Service Description
01272018 Saturday Morning PLEASE CALL ERICA PADILLA (PRINCIPLE) WHEN LEAVING ABQ @ 575.799.3986 (Water Leak Survey) Per Jonathon- Need to conduct a static and pressure test on all water lines throughout the building including the Geo thermal system and Fire suppression system. Also Conduct video inspections on all accessible Sewer drains, vents and roof Drains throughout the building. If American Leak Detection Determines there is a leak on either systems tested we will locate and mark location of leak and provide a Estimate for needed repairs. After test have been performed we will provide a detailed findings report. Note: There will be no use of water During the testing process and water may turned off. Time to complete = 8 hours; techs on site= 3; Labor charge = \$2,159.76 (8 hours); Nitrogen gas charge = \$150.00; Equipment use charge= \$500.00; Out of town Trip Charge = \$230.00 ; Subtotal= \$3,039.76; If testing takes longer then expected then a charge of \$149.99 for each additional hour will apply.

Completed Note
per slb: inspected/tested as needed roof drains, drain lines and vent stacks, potable water, fire suppression, and geo-thermal system.
> Static Test Geo-thermal system: conducted a static test on the underground send and return lines at 30 psi for 5 hours with no loss. Conclude no leaks on the system at this time.
> Static Test Main Fire Suppression system: conducted a static

test at 100 psi for 5 hours with no loss. Conclude no leaks on the system at this time.

> Potable water: Checked the meter, confirmed it supplies the school and is operational. Digital meter clocking usage very slowly over several minutes. Conducted a point check inspection of the plumbing fixtures and block valves. In the hot box found a steady drip at the backflow prevention device for irrigation, isolated it out and the usage at the meter stopped. Conducted a static test at the meter for 45 minutes with no usage. Conclude no leaks on water line at this time.

>Roof drainage: Roof is divided into three sections - east, middle and west. Conducted a camera inspection of 13 total roof drains with no visible signs of separation.

>Drain lines: Conducted a camera inspection of the sewer lines from 8 locations starting at the east side of the building and finishing at the cleanouts on the north side between the cast iron sewer lids and the transformer. View #1 - 50' from the single east side cleanout on into the building. Cast iron line starts to hold water at 17' and the view is completely blocked starting at 21' and continues to the 50' mark. Camera would not go past this point. View #2 - 77' from the single cleanout on the south side on into the building. The cast iron pipe appears to be in good condition. View #3 -there is a Y at 16-17' from the double cleanout on the west side near the main entrance on into the building. Cameraed an additional 14-15' to the left and 16-17' to the right. Cast iron lines appear to be in good condition. View #4 - 70' from the double clean outs on the west side near the main entrance on out to the PVC lines. Line appears to be in good condition. View #5 - from double cleanouts on west side heading north of main entrance

80' to the north and View #6 - 61' to the south. PVC lines appears to be in good condition. View #7 - 94' from the single NE corner cleanout to west end cleanout. PVC line appears to be in good condition. View #8 - from the cleanouts near the kitchen, view blocked by kitchen sludge building up on camera lens. DVD on file.

>Vent stacks: conducted a camera inspection of the vent stacks on the 3 roof sections. Scoped the 4 vents on the east roof, 2 vents on the middle roof, and 3 vents on the west roof. The east and middle runs appear to be in good condition. On the west roof, just as one crosses over the small pitched roof from the east side, the first stack which ALD marked 1B, appears to have a possible gap at a connection in the ceiling. 3' in, the pipe splits 2 ways. Camera followed the line which took a turn at 25' then at 26 - 27'

it appears that the cast iron line is offset at a rubber boot connection. This could explain the odor problems the school is having in this area.

cost as quoted \$3039.76 email invoice on 01.29.18 -
gbradley@cg-engrs.com; grieves@cg-engrs.com; rphagan@cg-engrs.com

Please send all payments to address above.

GUARANTEE ON DETECTION: All leak location and detection work is guaranteed for 30 days from date of completion. We will re-test the system or refund the detection fee (at our sole option) if it is reported within the above 30 day period. We will not be liable for any other consequential losses.

APPENDIX G

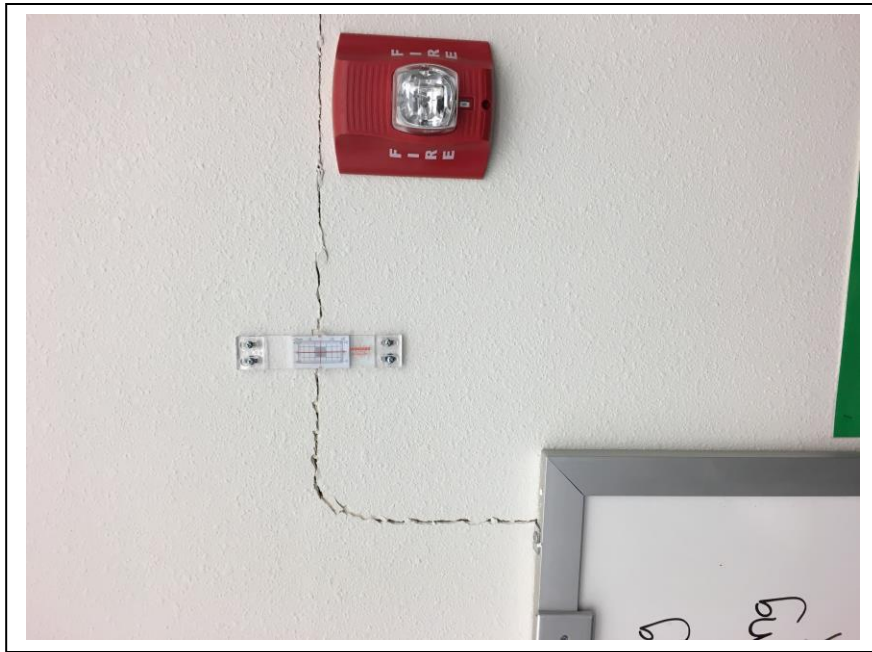


Photo 1: Wall Crack with Crack Gauge

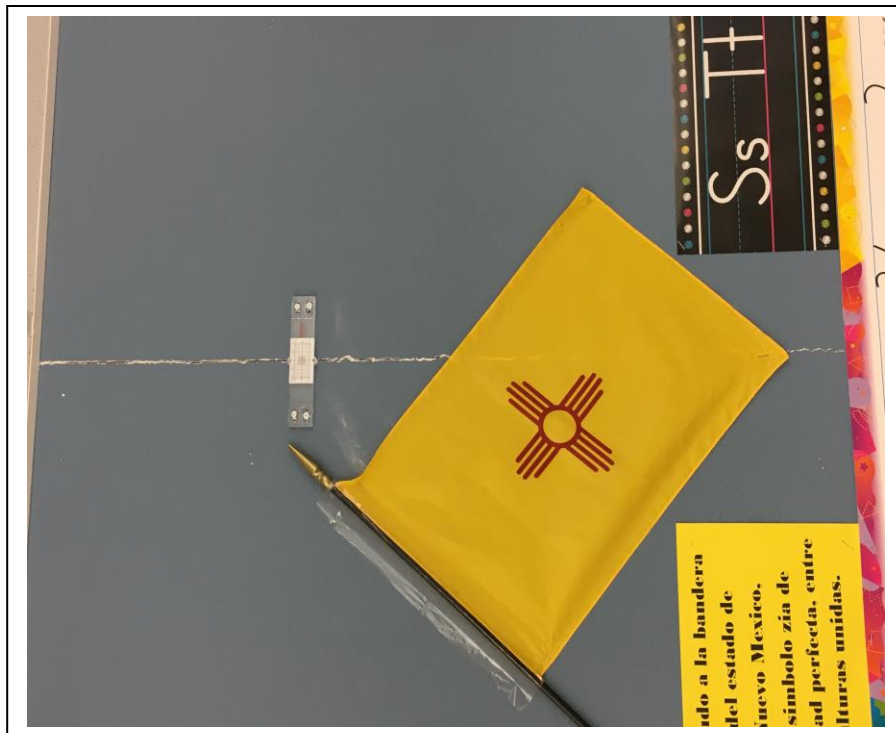


Photo 2: Wall Crack with Crack Gauge

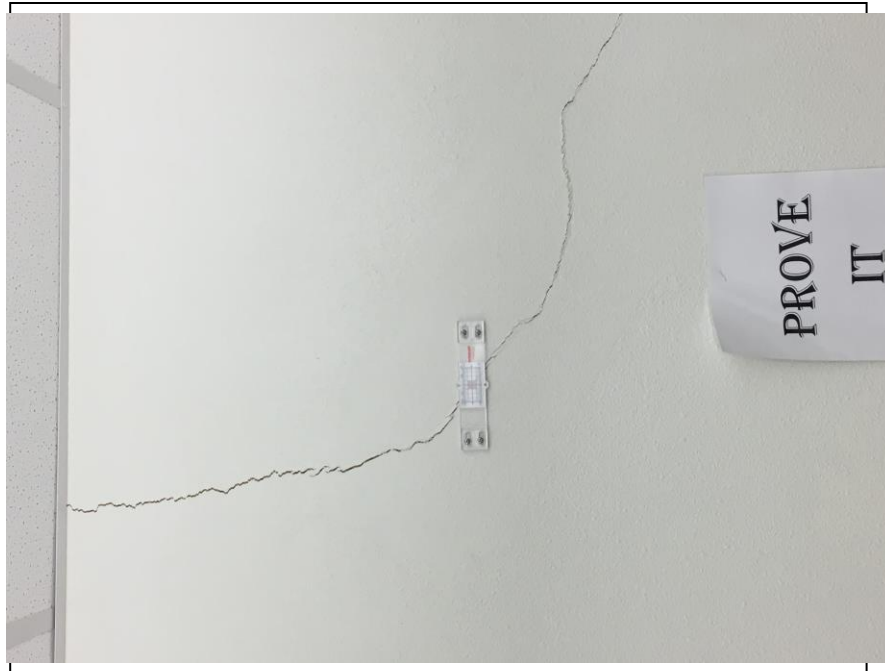


Photo 3: Wall Crack with Crack Gauge

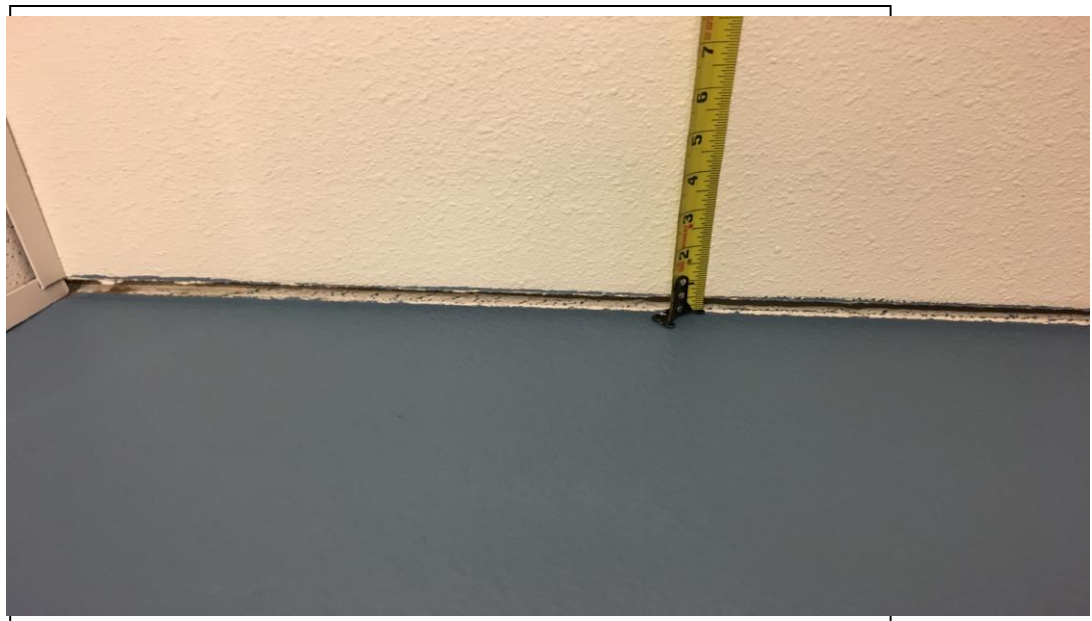


Photo 4: Exterior/Interior Wall Separation

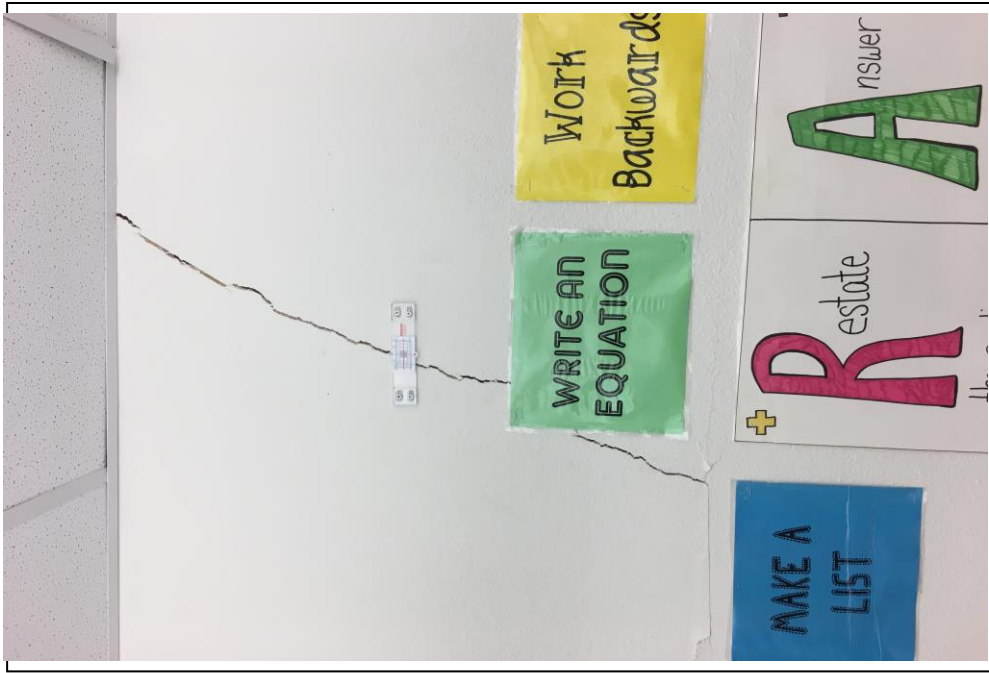


Photo 5: Wall Crack with Crack Gauge



Photo 6: Wall Crack with Crack Gauge

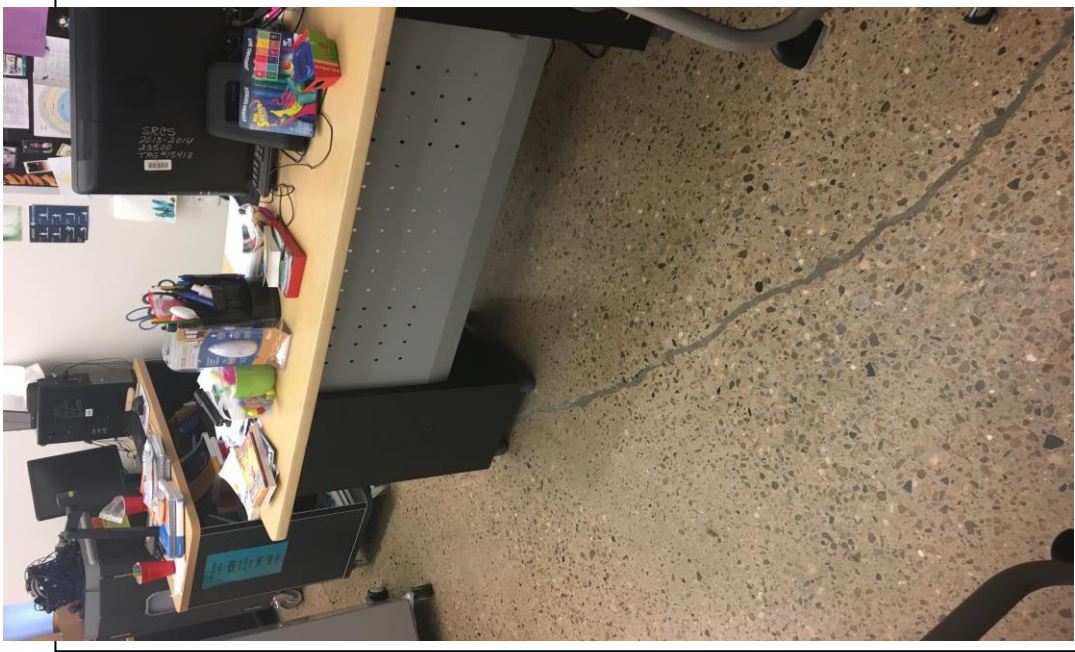


Photo 7: Floor Crack Sealed with Grout



Photo 8: Site Flatwork Cracking



Photo 9: View from Northwest, Showing Geothermal Field Area



Photo 10: Site Flatwork Cracking



Photo 11: Site Flatwork Cracking

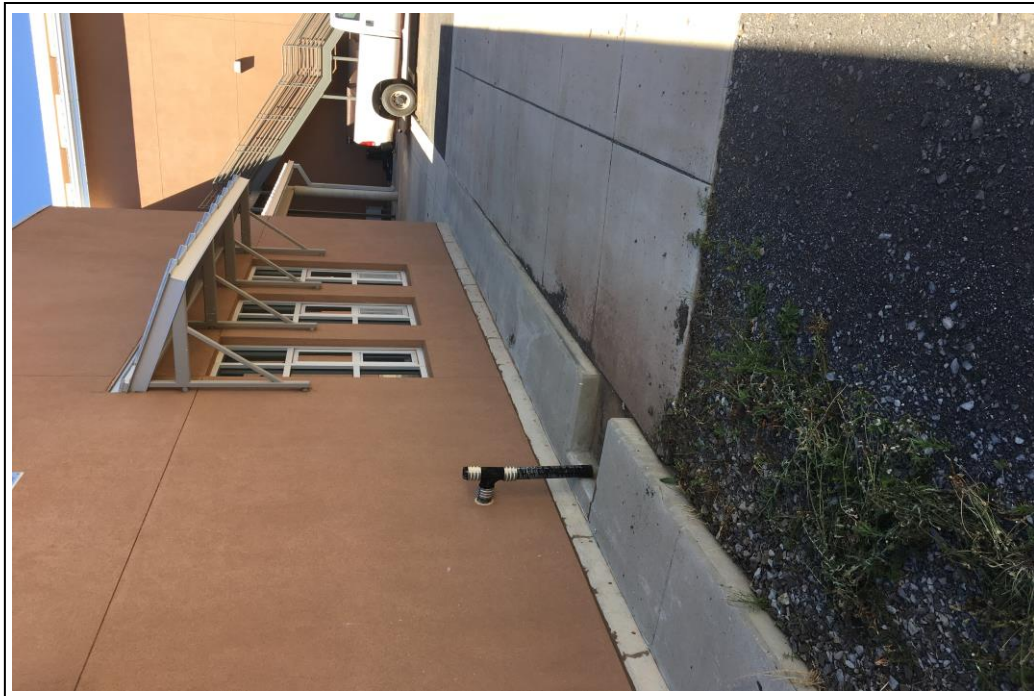


Photo 12: Ponding Area Adjacent to Building

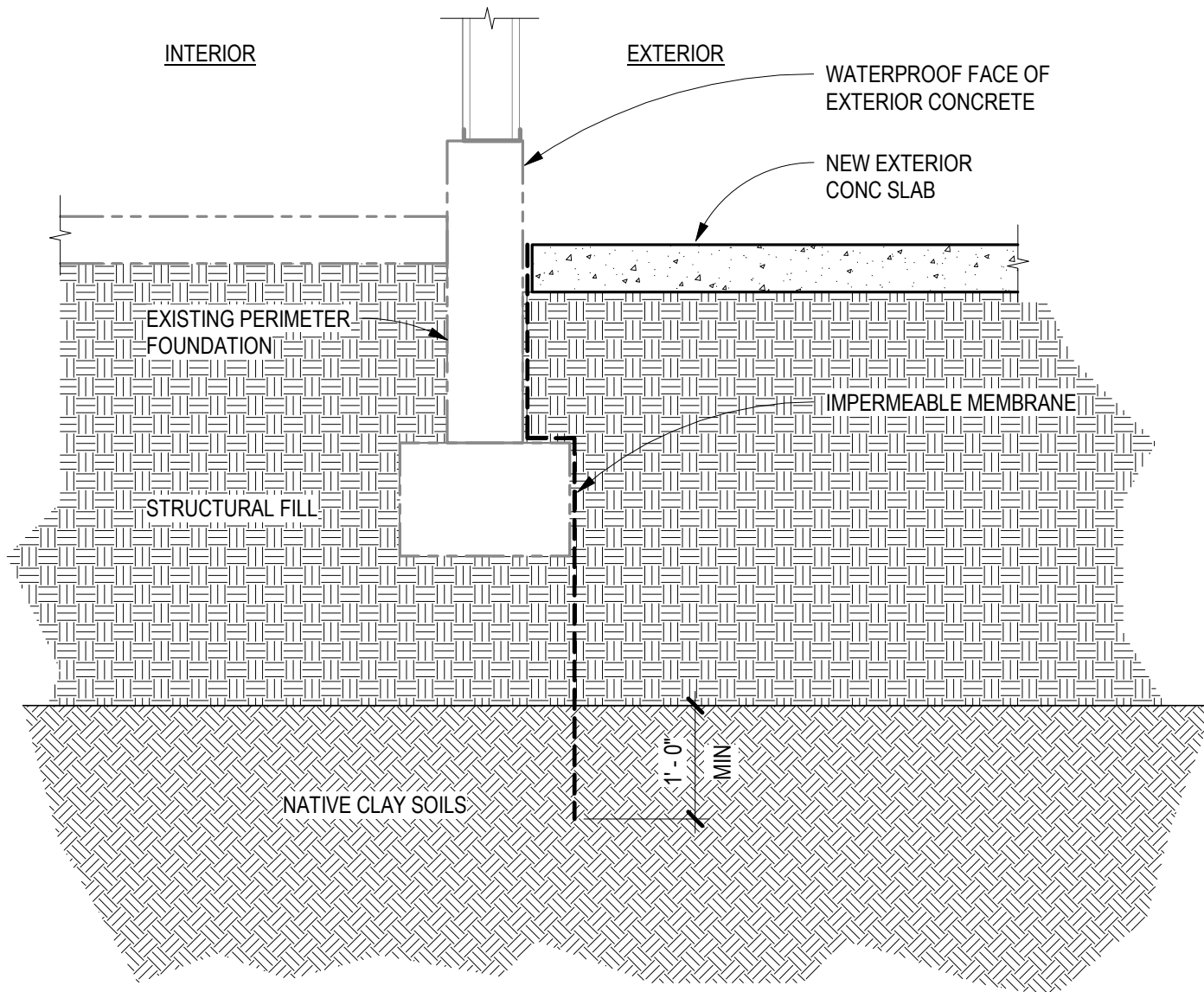


Photo 13: Site Flatwork Cracking/Separation

APPENDIX H

Date/Time: 7/10/2018 11:56:13 AM

Tech: Author



A

MOISTURE CUT-OFF WALL @ BLDG

SCALE: NTS



Chavez-Grievos
consulting engineers, inc.
4700 Lincoln Road NE, Suite 102, Albuquerque, NM 87109
505-344-4080 · 505-343-8759 (fax)

ANTON CHICO ELEMENTARY SCHOOL INVESTIGATION

ANTON CHICO NEW MEXICO

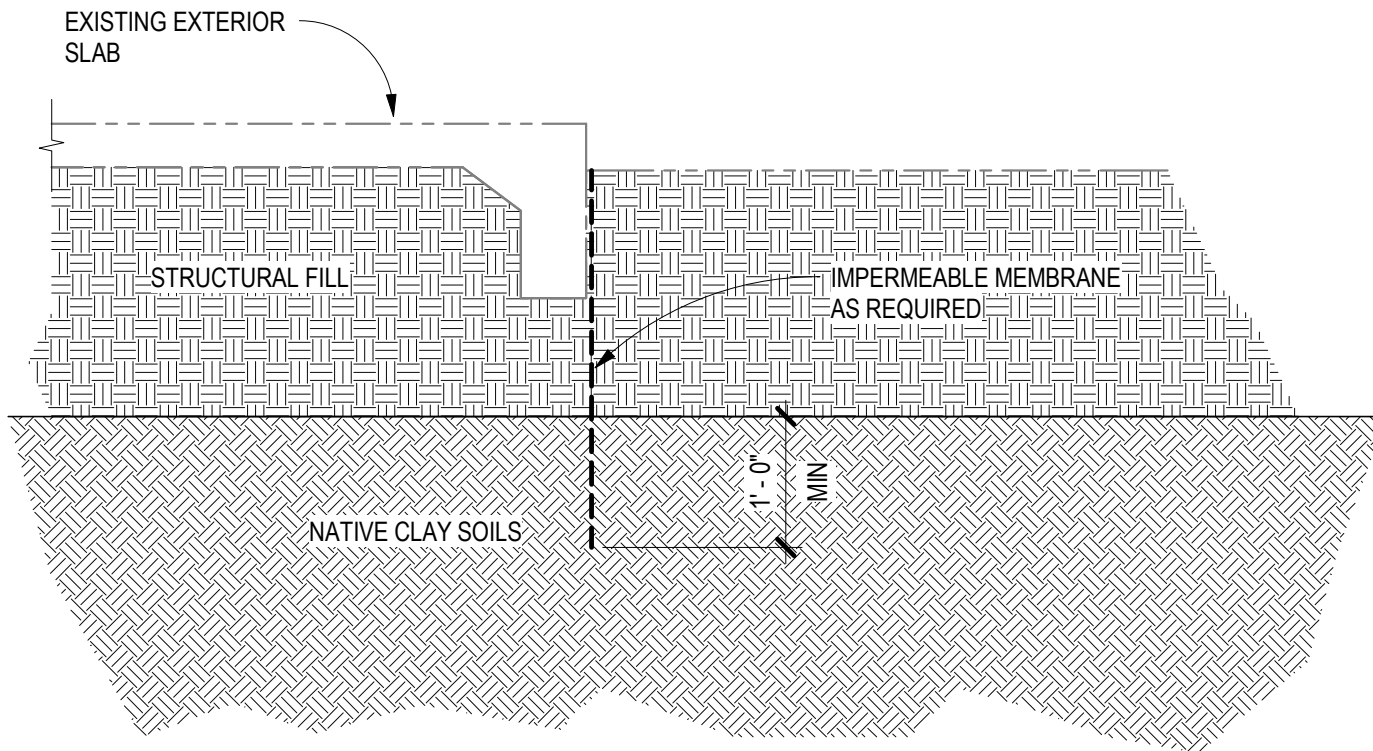
G BRADLEY	3/4" = 1'-0"
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MOISTURE CUT-OFF WALL @ EXTERIOR SLABS

SCALE: NTS



Chavez-Grievos
consulting engineers, inc.
4700 Lincoln Road NE, Suite 102, Albuquerque, NM 87109
505-344-4080 · 505-343-8759 (fax)

ANTON CHICO ELEMENTARY SCHOOL INVESTIGATION

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of

VI. Other Business

A. BDCP – T or C Pre-K Eligibility*

B. 2021-2022 FMP Awards*

*Denotes potential action by the PSCOC

- I. **PSCOC Meeting Date:** November 8, 2021
- II. **Item Title:** BDCP – T or C Pre-K Eligibility
- III. **Name of Presenter:** Ovidiu Viorica – Broadband Program Manager
- IV. **Potential Motion:**

Award \$4,078.06 to correct the original state share award. District will be responsible for the costs that are not matched by the E-rate program.

V. **Executive Summary:**

Truth Or Consequences Municipal School District issued several RFPs over multiple years to upgrade the connection between Arrey ES and the TorC Municipal Schools Data center. The district finally received a viable proposal during the 2019 E-rate cycle. The total project cost was ~\$2.8M, with matching state funding awarded by the PSCOC in November 2019. The E-rate program covered approximately 95% of the cost.

The district's request is for funding to correct a \$4,078.06 mistake in the original state share award, and potentially cover the cost (\$60,195.29) associated with Pre-K students at the school. Currently Pre-K students in New Mexico public schools are not eligible for E-rate funding. This results in millions of dollars in federal funding lost for schools.

The PSCOC guidelines for funding fiber upgrade projects are intended to maximize the additional E-rate funding available through the program (up to 10%) when state funding pays for a portion of the upgrade. The PSCOC has not funded the portions not eligible for E-rate funding in the past.

The E-rate/PSCOC funded upgrade project served as the foundation for a broader partnership between Sierra County, the local Electric Cooperative and Sacred Wind Communication, resulting in additional funding applications and awards of approximately \$8M in additional funds, primarily federal (USDA).

This broader regional project is currently under construction, and will provide high quality, high capacity and cost-effective broadband services to approximately 1,600 users in the area.

TorC Fiber upgrades - Pre-K Cost Breakdown

	A	B	C	D	
	Total Cost	PreK Allocation	E-rate (without accounting for PreK)	State	
1		2.17%	95%	5%	
2	Original cost	\$ 2,835,558.53	\$ 2,693,780.60	\$ 141,777.93	
3	Final Cost	\$ 2,773,976.40	\$ 2,635,277.58	\$ 138,698.82	
		Total Cost Minus PreK	E-rate Eligible (Final Total Minus PreK) x 95%	E-rate eligible (Final total Minus PreK) x 5%	
4	If PreK is applied	\$ 2,773,976.40	\$ 2,713,781.11	\$ 2,578,092.06	\$ 135,689.06
5					\$ 131,611.00
6					\$ 4,078.06
7					\$ 60,195.29
8					\$ 64,273.34

PSCOC already approved
Delta (Correction)
Potential Pre-K state allocation
Current request

October 21, 2021

To Whom it May Concern:

Truth or Consequences Municipal School District is grateful for the opportunity to participate in the Broadband Deficiencies Corrections Program (BDCP). For the E-rate Funding Year 2019, the district procured and received funding for fiber connectivity between the district data center and Arrey Elementary. The district is thankful for the P.S.C.O.C. approved matching funds for this project in the amount of \$131,611.00. Unfortunately, the approved amount was calculated incorrectly when presented initially to the Council, by an amount of \$10,139.00. The error was due to calculation by P.S.F.A. based on the E-rate committed amount rather than the total cost of the project. The requested matching funds amount should have been \$141,750.00.

After the district applied for a matching funds award from P.S.C.O.C, USAC, the Administrator of the E-Rate program, determined that New Mexico laws do not allow them to provide discounts on services to Pre-K students, despite the New Mexico Public Education Department's determination that Pre-K students are eligible. Therefore, the district was required during application review to cost allocate a portion of the project to account for any use of the network by Pre-K students. The district determined the percentage by analysis of actual use of the district's network by Pre-K students.

The total actual cost of the project as billed was, less than the contracted cost of \$2,835,558.53. Please see the actual costs in the attached, Exhibit A.

Truth or Consequences Municipal Schools respectfully requests an increase in the matching funds awarded to the district so that the district may be reimbursed for the entire out of pocket amount of the total Eligible Non-Discounted amount of the project (\$135,689.06), according to current P.S.C.O.C. practice, which is 5% of the eligible cost of the project.

We also have an additional request. Due to current state policies, USAC has determined that New Mexico's law does not allow them to provide E-rate funding for Pre-K students. The 2015 Kindergarten Act and other subsequent legislation has provided state funding for Pre-K programs and we believe that these students should be eligible but have exhausted the appeals process with USAC. We are asking the Council to reimburse the district for the amount we were required to remove from our E-rate request. Cost allocation of 2.17% of the actual cost of the project is \$60,195.29. If we add the additional amount to include the entire out of pocket amount, it would be a \$64,273.34 increase added to the current approved amount of \$131,611.00. Without participation of the PSCOC's matching funds, the Truth or Consequences Municipal School District would have had an out-of-pocket total cost of \$331,573.40.¹ These funds matter greatly to the children of Truth or Consequences, as the district has been using its own funds to finance internet access at the Winston Community Center so that students could participate in remote learning during the Covid lockdown. The district has applied for funding from the ECF program to pay for future services but restoring some funds to the district's budget will make a great difference for us.

¹ Without matching funds, the discount would have been 90%, not 95%. The \$331,573.40 includes the cost allocation for Pre-K and the non-discounted portion (10%) of the project.

If the council will not increase the award to the total amount of \$195,884.34, then we ask the council to consider allowing the district to at least receive the increase to the standard P.S.C.O.C practice of providing 5% of the eligible amount (\$135,689.06) from the current amount of \$131,611.

We thank you again for the opportunity to participate in the BDCP, which finally brought reliable connectivity to the children of Arrey and beyond.

Sincerely,

Sachana Bina 10-27-2021

EXHIBIT A – COSTS OF PROJECT

Actual Cost	GRT	Total Cost	Pre-K Allocation (2.17%)	Eligible Total	Eligible Discounted Amount	Eligible non-discounted Portion	Total District cost before PSFA	PSFA Approved Funding	Total Out of Pocket TORC
\$2,556,660.28	\$217,316.12	\$2,713,781.11	\$60,195.29	\$2,713,781.11	\$2,578,092.06	\$135,989.06	\$195,884.34	\$131,611.00	\$64,273.34

Truth or Consequences requests:

1. Increase the match to 5% of the eligible discounted amount, which is the current policy of the PSCOC.
2. Increase the match to include the Pre-K cost allocation amount of \$60,195.29.

I. **PSCOC Meeting Date:** November 8, 2021

II. **Item Title:** 2021-2022 FMP Awards

III. **Name of Presenter:** Martica Casias, Interim Director

IV. **Potential Motion:**

Council approval to make the calendar year 2021-2022 Facilities Master Plan Awards as listed to the district/state-charters up to the estimated amounts specified on lines 1 through 10 in Column H of the spreadsheet for this agenda item. These amounts represent the state share portion of the estimated cost to develop a facilities master plan at each of these districts/state-chartered charters to the PSFA guidelines and require a corresponding district match as set forth in the current state/local match formula.

V. **Executive Summary:**

Background:

Annually, the PSCOC invites districts and state-chartered charter schools to apply for Facilities Master Plan (FMP) Assistance. A FMP is a district's five-year road map of where they plan to go with their facilities capital and systems based needs. In order to be eligible for PSCOC FMP funding assistance, district and charter schools FMPs must be expired, expiring at the end of this year, or within one year of expiration.

Summary:

PSFA received 11 applications for FMP funding assistance, with 8 being from school districts and three from state-chartered charter schools.

PSFA received two partial local share waiver requests from the following districts/schools and in the following local share amounts (Column J on spreadsheet):

Farmington Municipal School District - \$73,161.00. District will contribute \$25,000.02 to its share. This would increase the state's share of the cost from \$77,126.68 (column H) to \$150,287.68 (Column J).

Amy Biehl Charter High School - \$8,000. The school will contribute \$10,095.00 to its share. This would increase the state's share of the cost from \$5,405.00 (Column H) to \$13,405 (Column J).

Rows 11 and 12 also provide a summary of the waiver requests.

Together, the waiver request total \$81,161.00. The PSFA Chief Financial Officer analyzed each waiver request. He does not recommend approval of the waiver requests since he identified sufficient local funds to cover the local share.

Potential FMP Funding Amounts:

- The potential state share including the request for a waiver is \$441,470.16 (Column K on spreadsheet).
- The potential state share excluding the waiver is \$360,309.16 (Column H on spreadsheet)

These figures represent not-to-exceed totals and we may be able to obtain cost reductions based on negotiations with the consultants once hired.

Staff Recommendation

Staff is recommending approval of the FMP awards for lines 1-10, excluding waivers in the total amount of \$360,309.16 (Column H).

PUBLIC SCHOOL CAPITAL OUTLAY COUNCIL (PSCOC)
2021-2022 Facilities Master Plan Assistance Awards
November, 2021

	A.	B.	C.	D.	E.	F.	G.	H.	I.	J.	K	L.	
	District/Charter School	FMP Expiration Date	District GSF (Based on FAD)	FMP Cost Per GSF	Total Not to Exceed Cost	State Match %	Local Match %	Total Not to Exceed State Share	Total Not to Exceed Local Share	Local Share Reduction Request	Adjusted State Share Including Local Share Reduction Request	Adjusted Local Share Including Local Share Reduction Request	
1	Belen Consolidated School District	2022	841,724	\$ 0.10	\$ 84,172.40	40%	60%	\$ 33,668.96	\$ 50,503.44	0	\$ 33,668.96	\$ 50,503.44	1
2	Bernalillo Public Schools	2022	599,573	\$ 0.13	\$ 77,944.49	18%	82%	\$ 14,030.01	\$ 63,914.48	0	\$ 14,030.01	\$ 63,914.48	2
3	Clayton Public Schools	2021	173,746	\$ 0.21	\$ 36,486.66	7%	93%	\$ 2,554.07	\$ 33,932.59	0	\$ 2,554.07	\$ 33,932.59	3
4	Central Consolidated School District	2021	1,479,348	\$ 0.10	\$ 147,934.80	53%	47%	\$ 78,405.44	\$ 69,529.36	0	\$ 78,405.44	\$ 69,529.36	4
5	Estancia Municipal School District	2022	218,267	\$ 0.21	\$ 45,836.07	41%	59%	\$ 18,792.79	\$ 27,043.28	0	\$ 18,792.79	\$ 27,043.28	5
6	Farmington Municipal School District	2021	1752879	\$ 0.10	\$ 175,287.90	44%	56%	\$ 77,126.68	\$ 98,161.22	\$ 73,161.00	\$ 150,287.68	\$ 25,000.22	6
7	Los Lunas Public School District	2022	1475592	\$ 0.10	\$ 147,559.20	56%	44%	\$ 82,633.15	\$ 64,926.05	0	\$ 82,633.15	\$ 64,926.05	7
8	Tularosa Municipal Schools	2022	233,746	\$ 0.21	\$ 49,086.66	67%	33%	\$ 32,888.06	\$ 16,198.60	0	\$ 32,888.06	\$ 16,198.60	8
9	Albuquerque Bilingual Academy	2021			\$ 23,500.00	23%	77%	\$ 5,405.00	\$ 18,095.00		\$ 5,405.00	\$ 18,095.00	9
10	Amy Biehl Charter High School	2021			\$ 23,500.00	23%	77%	\$ 5,405.00	\$ 18,095.00	\$ 8,000.00	\$ 13,405.00	\$ 10,095.00	10
11	La Academia Dolores Huerta	2021			\$ 23,500.00	40%	60%	\$ 9,400.00	\$ 14,100.00	0	\$ 9,400.00	\$ 14,100.00	11
	TOTALS				\$ 834,808.18			\$ 360,309.16	\$ 474,499.02	81,161.00	\$ 441,470.16	\$ 393,338.02	

	Districts Requesting Waivers of Local Share	Total Cost	Reduction Request	State Share after reduction request	Local Share After Reduction Request	PSFA Support ?
11	Farmington	\$ 175,287.90	\$ 73,161.00	\$ 150,287.68	\$ 25,000.22	N
12	Amy Biehl Charter HS	\$ 23,500.00	\$ 8,000.00	\$ 13,405.00	\$ 10,095.00	N
	TOTALS	\$ 198,787.90	\$ 81,161.00	\$ 163,692.68	\$ 35,095.22	

PSFA analysis indicates the districts and charter schools seeking waivers do have the funds to support the local share.

\$163,629.68 represents the state share for the plans of those applicants seeking partial waivers. It is included in the \$438,916.09 in Column K.

\$35,095.22 represents the total amount the applicants seeking partial waivers will pay for their share of the plan. This amount is included in the \$359,405.43 in Column L.

VII. Informational

- A. Statewide Education Network Overview and Timeline
- B. 2021-2022 Second Round Applications Received
- C. PSFA Project Processes
- D. Project Status Report

I. PSCOC Meeting Date: November 8, 2021

II. Item Title: BDCP Statewide Education Network Overview and Timeline

III. Name of Presenter(s): Ovidiu Viorica, Broadband Program Manager,
Jerry Smith, Broadband Projects Specialist

IV. Executive Summary (Informational):

Background:

Senate Bill 144 (2021) requires the PSCOC to establish guidelines to fund and develop a Statewide Education Technology Infrastructure Network.

The Statewide Education Network (SEN) will connect all the participating schools together and to the Internet by developing regional aggregation hubs.

This network will provide participating organizations assistance with mission critical support for network management and cybersecurity. The SEN approach is the most effective way, operationally, and the most cost-effective way to provide these essential services at an adequate level.

The Statewide Education Network will also improve broadband availability for the entire state – including students and teachers, wherever they are, leveraging the combined buying power of schools, and their access to predictable federal funding, to drive infrastructure and Internet capacity upgrades statewide.

In order to implement this network, PSFA will have to be the agreements holder on behalf of all the participating organizations, and will have to apply for E-rate funding on behalf of these entities.

As directed by the Council, PSFA is developing engineering and procurement requirements (Request For Proposals - RFPs) for the many components necessary for a Statewide Education Network. In order to meet the March 2022 E-rate deadline, the RFPs for E-rate eligible items have to be published by mid-November.

PSFA will also need approval from all the school boards for the MOUs allowing the schools to join the SEN, and the PSCOC approval to enter into multi-year agreements for Internet, network management and cybersecurity. These are all critical components without which the Statewide Education Network cannot function.

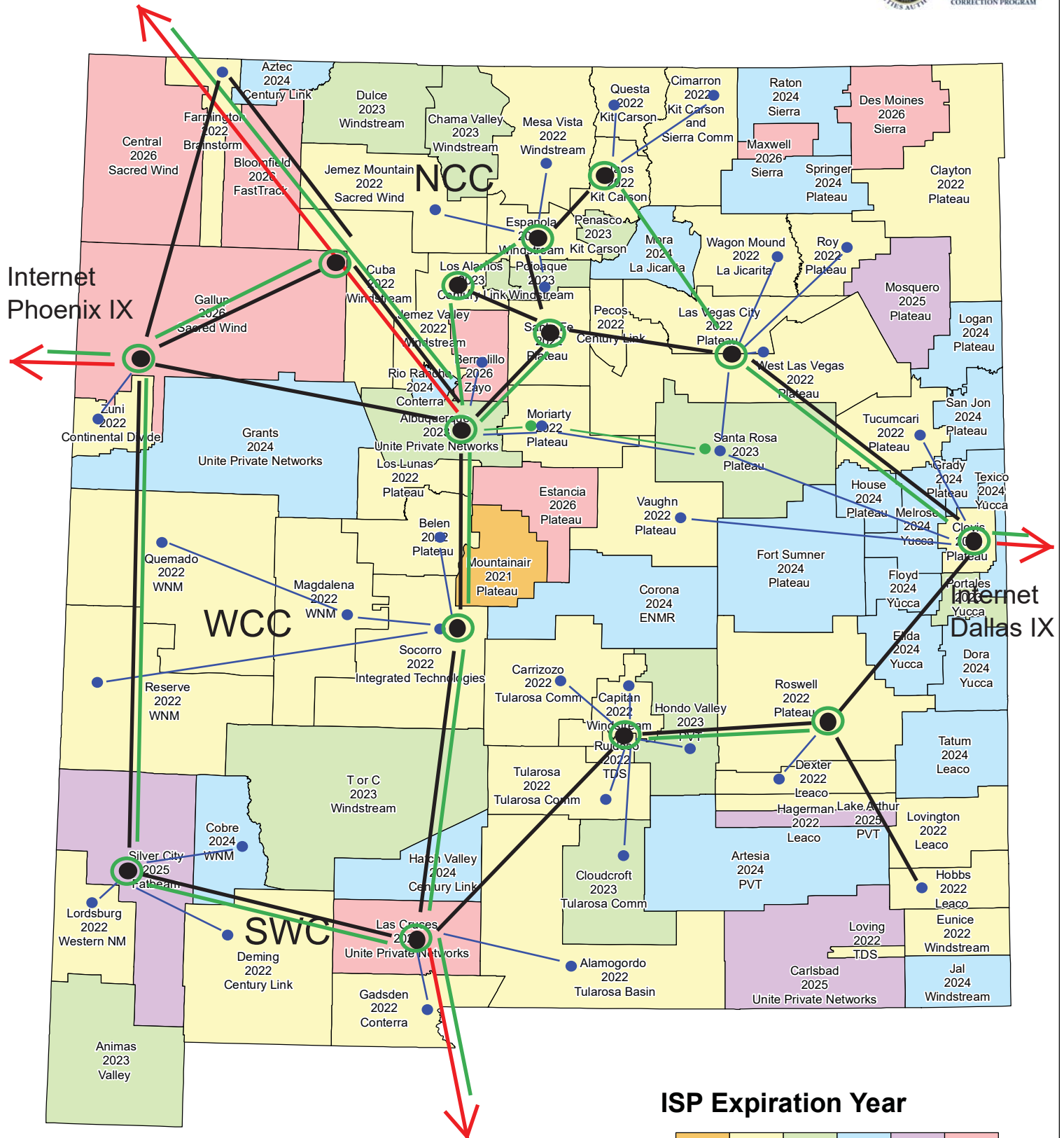
We recommend that the Council will cover the full cost not covered by E-rate to connect the participating schools, as a way to incentivize participation and expedite implementation, while avoiding a significant administrative burden.

Sequence of events:

- ~~1. August 2021: PSCOC Approval of funding for Engineering.~~
- ~~2. September 2021: PSCOC approves RFP development. PSFA selects engineering firm.~~
3. September 2021 – November 2021: Engineering and Procurement development (RFPs).
4. November 2021 – January 2022: E-rate eligible procurements (RFPs).
5. November 2021– May 2022: Non-E-rate eligible work: design, procurement, and contracting.
6. January – February 2022: Evaluations, Negotiations, Awards and Contracts for E-rate eligible work.
- 7. February 2022 – March 2022: School Boards approvals and PSCOC approval.**
8. March 2022: E-rate applications.
9. July 2022: Begin implementation for Phase1.
10. September 2022: Phase2 planning and procurement development.
11. October – December 2022: Phase 2 procurements.
12. January – February 2023: Evaluations, awards and contracting.
13. March 2023: E-rate funding application.
14. July 2023: Phase 2 implementation.
15. September 2023: Phase 3 development.

Internet
Denver IX /
Salt Lake City IX

Statewide Education Network Conceptual Map



ISP Expiration Year

1	42	12	23	4	8
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2021 2022 2023 2024 2025 2026

Internet
El Paso IX
(IX = Internet Exchange)

Statewide Education Technology Infrastructure Network

Internet Service Providers - Draft

October 28, 2021

Presenters:

CTC Technology & Energy Team
E-rate Central Team
PSFA Broadband Team



Partnering with New Mexico's communities to provide quality, sustainable school facilities for our students and educators.

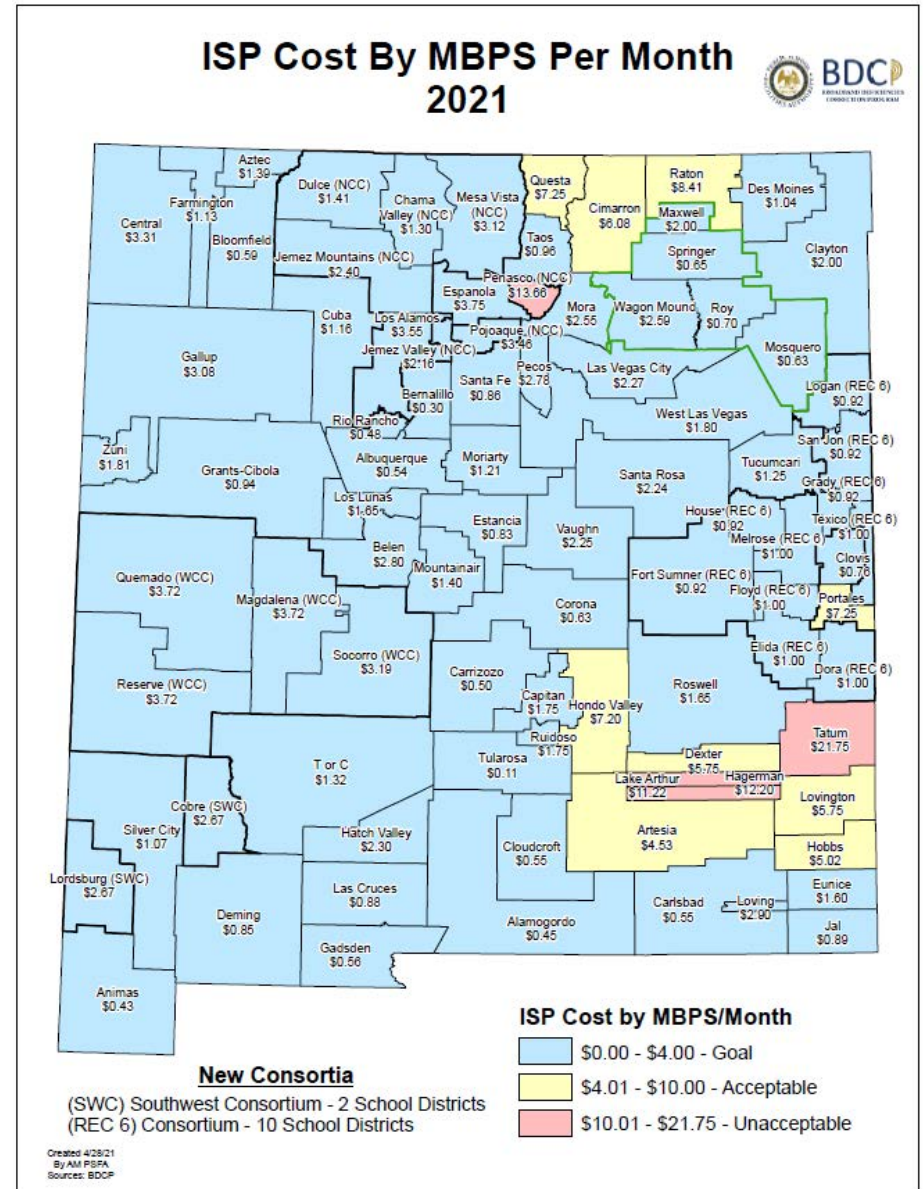
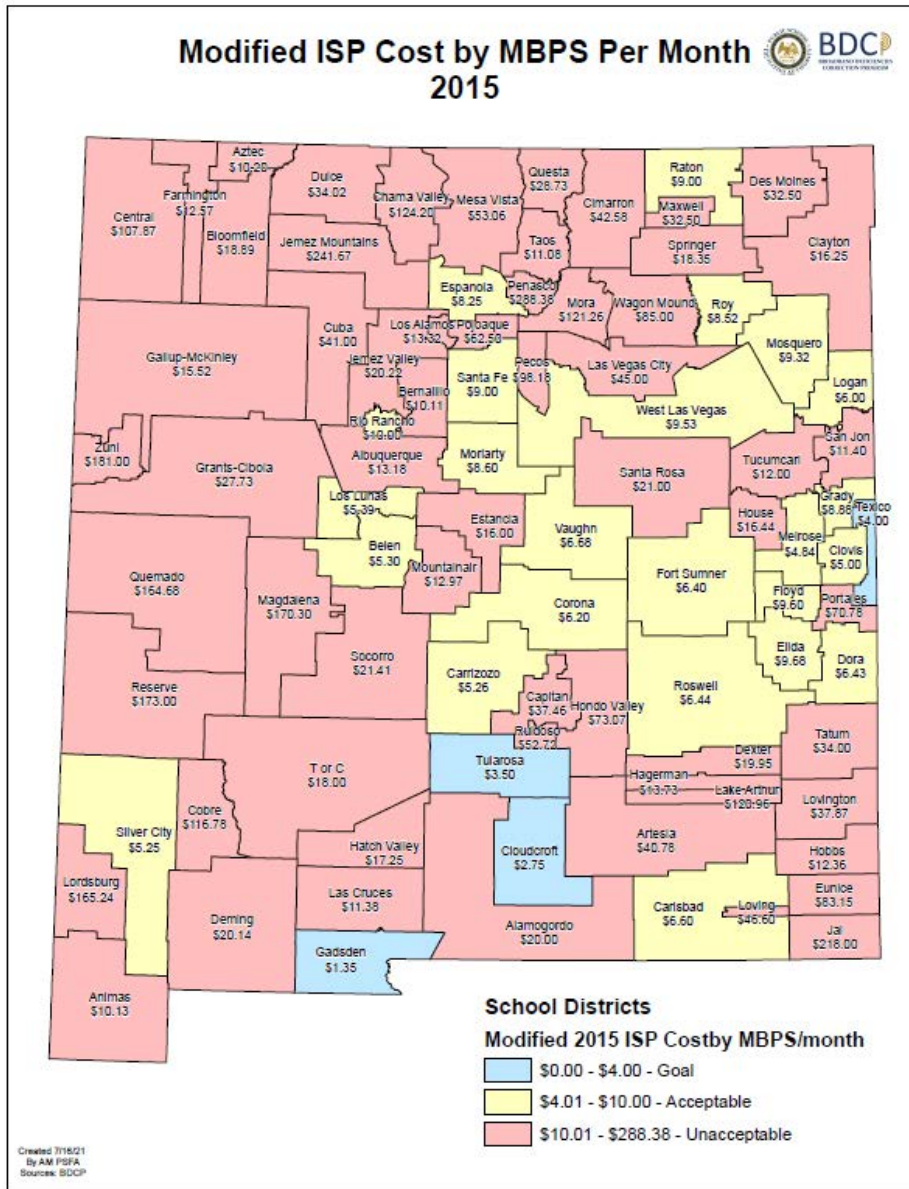
Agenda

- PSFA Broadband Program - Background.
- SB144 - What is it?
 1. Student Connectivity.
 2. Statewide Education Network.
- Preliminary Framework.
- Next Steps / Timeline Review.
- Questions.

PSFA Broadband Program Background

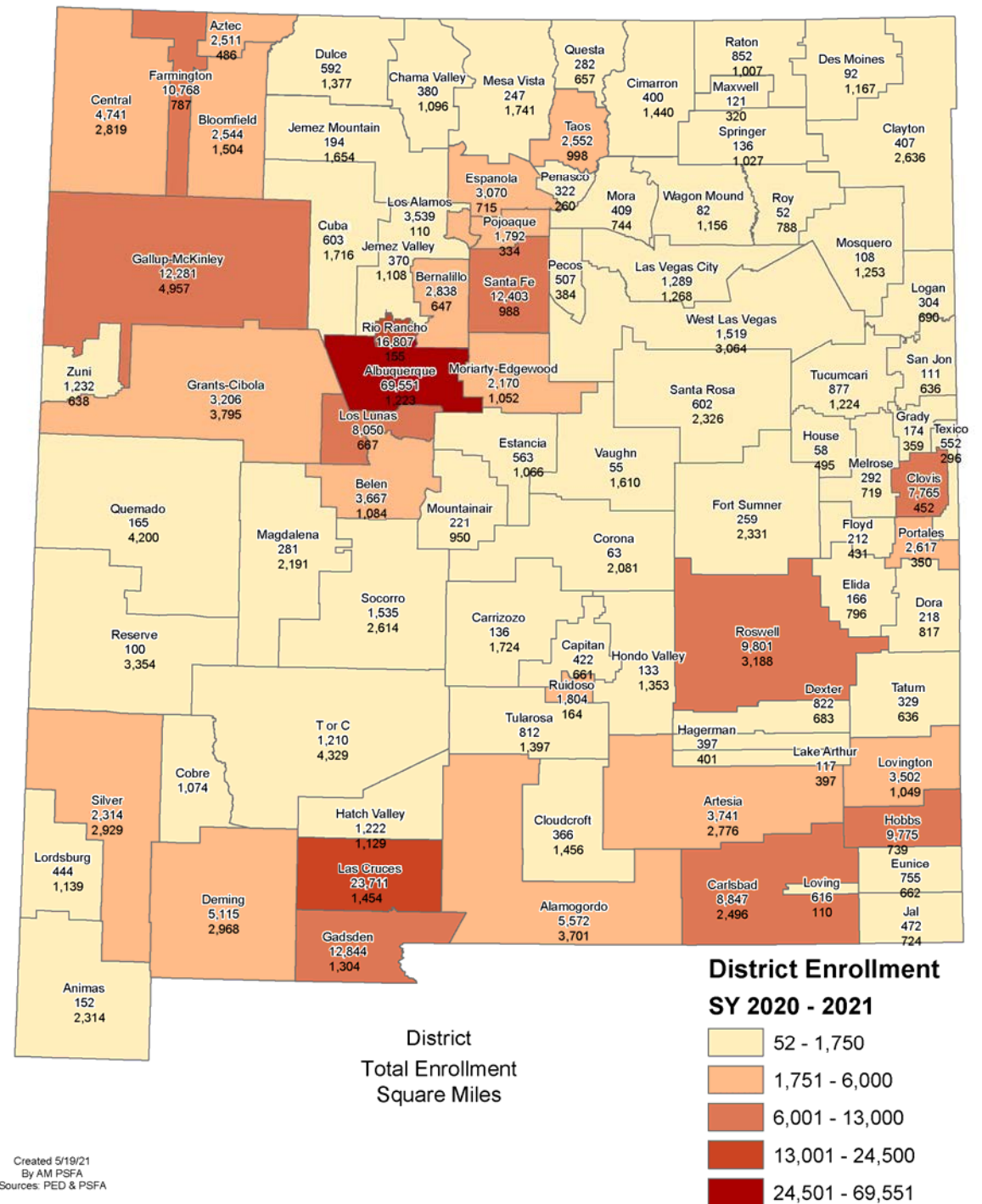
- Number of projects: **270 (2016 - 2020).**
- Value of upgrades: **~\$100M / 88% E-rate.**
- NM K12 Rank Nationwide (E-rate): **Top 3/5.**
- NM K12 Broadband unit price reduction: **80%.**
- Increase in average K12 broadband speed: **6X.**

PSFA Broadband Program: Progress



NM School Districts Enrollment Heat Map

- Most of NM is remote, rural, and sparsely populated.
- IT expertise (qualified manpower) is not uniformly available.
- Large geographic areas with few locations purchasing high-speed internet is a challenge for market providers of network connectivity, services, and equipment.
- Statewide technology infrastructure network will provide better connectivity and expert network management services to all areas of NM.



SB144 - Broadband / Ed Technology

1. Connect students and teachers wherever they are (home).
2. Create a Statewide Education Network (**SEN**).
 - “The council shall develop guidelines for a statewide education technology infrastructure network that integrates regional hub locations for network services and the installation and maintenance of equipment.”

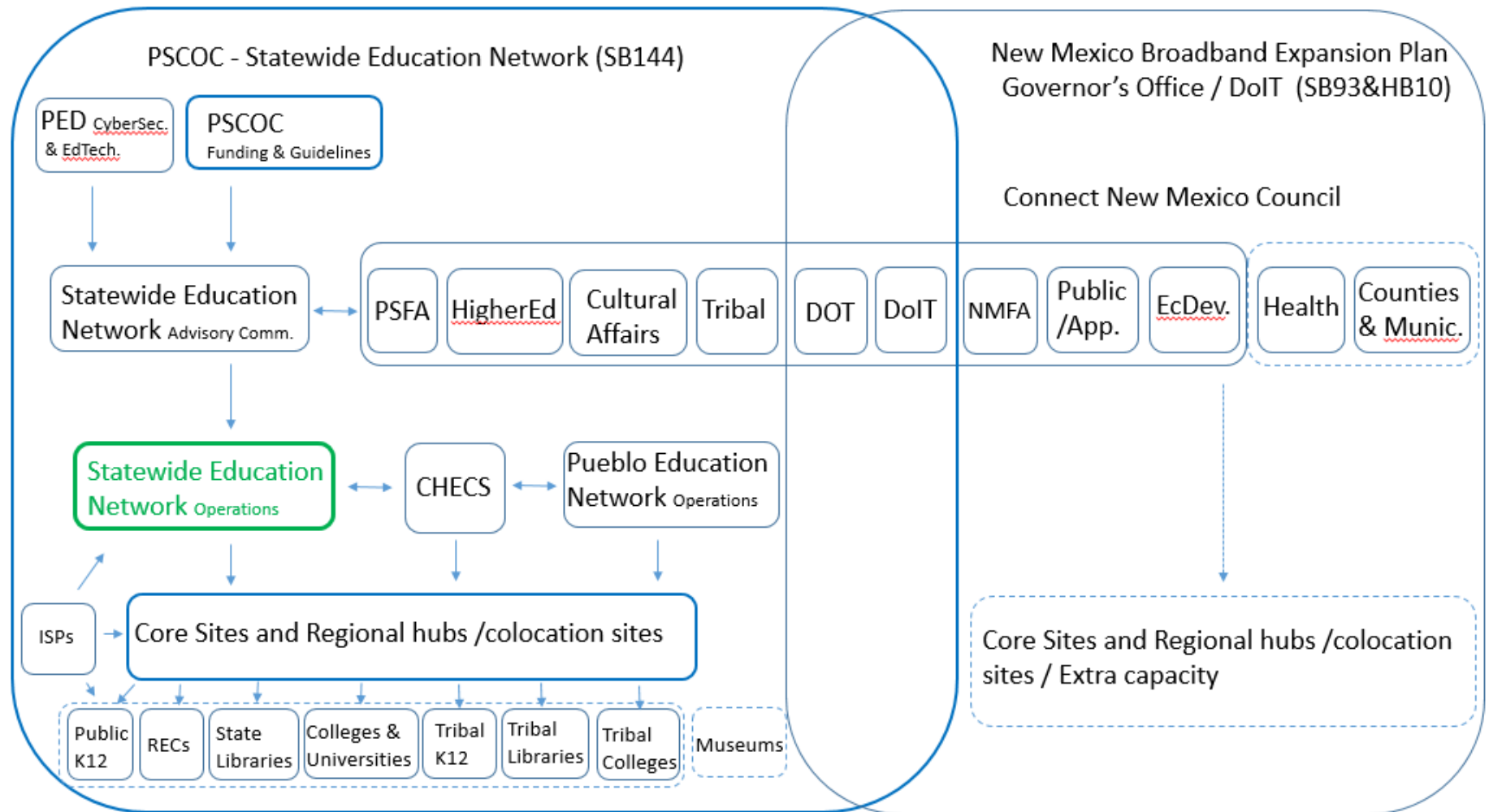
Student and Teacher Connectivity: Immediate Solution

1. Connect students and teachers wherever they are (home).
 - PED is leading this effort – responding to Yazzie/Martinez.
 - CTC Technology and Energy – Under contract.
 - EBB: \$3.2B (Started May – **until money runs out**) – Monthly service.
 - ISP – Families.
 - NM has ~800,000 households.
 - 59,500 (~**7.5%**) x \$60 = ~\$3.6M / Mo.
 - 70% of NM students are eligible for EBB.
 - ECF: \$7.2B (June 30 – **August 13: \$67M requests**) – Modems & one year of service.
 - ISP – Schools.
 - No forms 470: negotiated or RFP (over \$60,000).
 - E-rate pays schools or ISPs.

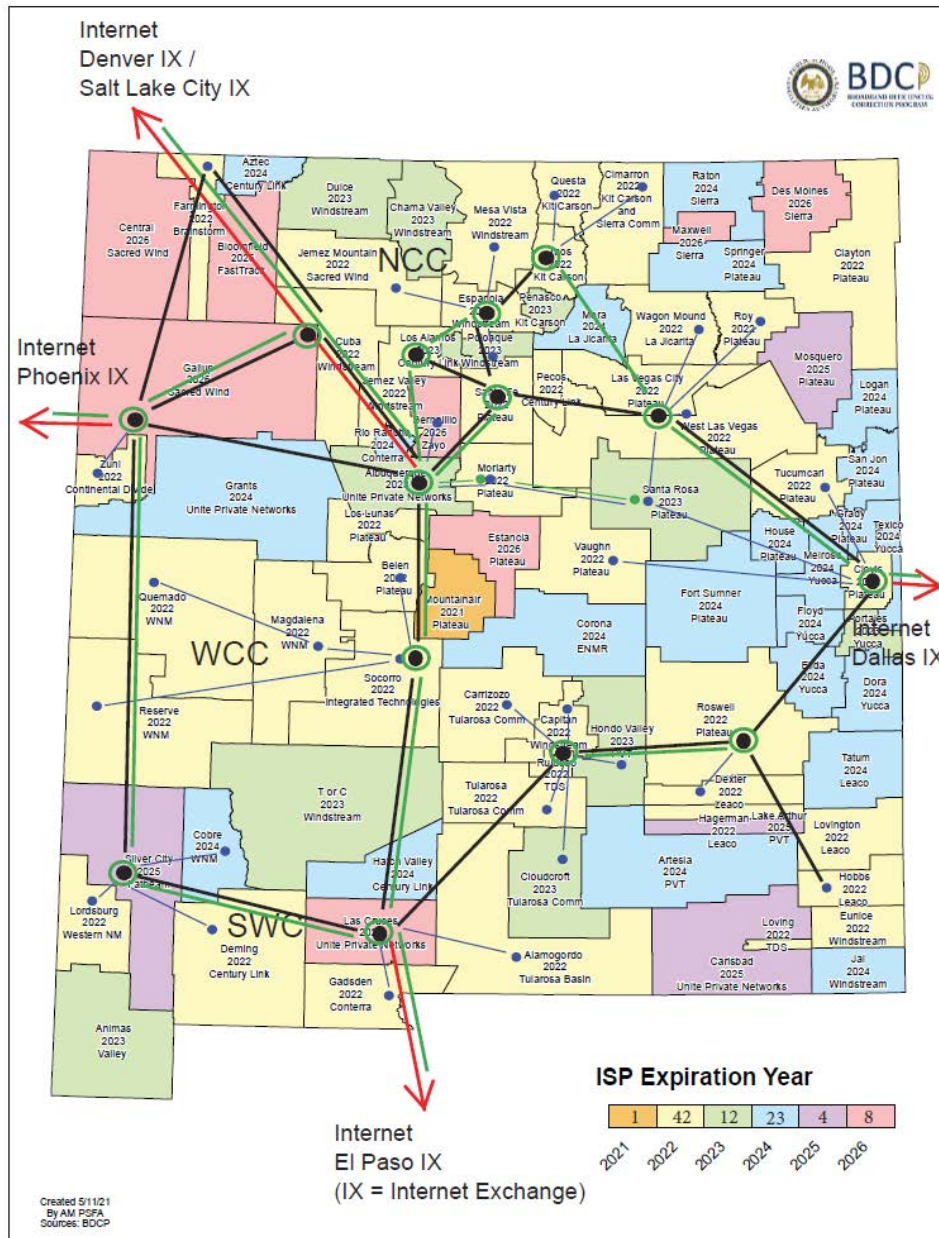
Student and Teacher Connectivity: Long-term Solution

2. Create a Statewide Education Network (SEN).
 - Create advisory committee.
 - PSCOC approves guidelines and state (PSCOF) funding.
 - Connect school sites together within districts and regionally.
 - Expansion of regional consortia model for internet services and network infrastructure projects.
 - Provide network management and cybersecurity expertise.
 - Phased approach to begin with ready/interested school districts.
 - Maximize access to federal E-rate funding for NM.

SEN: Preliminary Org Chart



SEN: Conceptual Map



Legend:

Blue dot: District Point of Presence (POP)/ Equipment Location.

Green dot: Other Point of Presence (POP)/ Equipment Location (Early Childhood, Municipality, County, Health, Tribal etc...)

Blue line: 1+ Gbps School Circuit (E-rate).

Green line: 1+ Gbps Circuit (Extra capacity).

Black dot: Regional Network Equipment Aggregation/ Colocation Site.

Green circle: Extra broadband capacity available at Aggregation/Colocation Site.

Black line: 10+ Gbps Fiber Backbone (E-rate).

Green line: 10+ Gbps Fiber Backbone (Extra capacity).

Red Arrow: 10+ Gbps Internet Connection (E-rate).

IX: Internet Exchange

SEN: Preliminary Financial Plan

SB144 (Statewide Education Network) - Implementation Preliminary financial plan (All projected amounts in \$Millions)

	A	B	C	D	E	F	G	H	
	Year								
	FY22	FY23	FY24	FY25	FY26	Total State five years	Potential E-rate	Total	
Number of member districts	25	30	20	7	7			89	
1 Statewide Education Network Initial setup and operations (100% State)*	\$ 0.5	\$ 0.5	\$ 0.5	\$ 0.5	\$ 0.5	\$ 2.5	\$ -	\$ 2.5	1
2 Backbone fiber construction (State share of E-rate match)**	\$ 2.0	\$ 2.0	\$ 0.5	\$ -	\$ -	\$ 4.5	\$ 30.0	\$ 34.5	2
3 IA and Data Transport Cost including pre-K (State share of E-rate match)***	\$ 1.0	\$ 1.5	\$ 2.0	\$ 2.0	\$ 2.0	\$ 8.5	\$ 56.7	\$ 65.2	3
4 Aggregation hub development**** (100% State)	\$ 0.5	\$ 1.0	\$ 1.0	\$ -	\$ -	\$ 2.5	\$ -	\$ 2.5	4
5 Equipment replacement (State share for potential E-rate match)	\$ 0.5	\$ 0.5	\$ 1.0	\$ 2.0	\$ 2.0	\$ 6.0	\$ 40.0	\$ 46.0	5
6 Network Management (State share for potential E-rate match - shown @ 50%)	\$ 1.5	\$ 2.0	\$ 2.5	\$ 3.0	\$ 3.0	\$ 12.0	\$ 24.0	\$ 36.0	6
7 Cybersecurity* (\$1.5M PED match and potential future appropriations)	\$ 1.0	\$ -	\$ -	\$ -	\$ -	\$ 1.0	\$ -	\$ 1.0	7
8 BDCP regular projects (Cat1 & Cat2 upgrades - State share for E-rate match)	\$ 2.0	\$ 2.0	\$ 2.0	\$ 2.0	\$ 2.0	\$ 10.0	\$ 66.7	\$ 76.7	8
9 Contingency	\$ 1.0	\$ 0.5	\$ 0.5	\$ 0.5	\$ 0.5	\$ 3.0	\$ -	\$ 3.0	9
10	\$ 10.0	\$ 10.0	\$ 10.0	\$ 10.0	\$ 10.0	\$ 50.0	\$ 217.3	\$ 267.3	10

* Includes: Non-profit setup and contract engineering, procurement support etc...

** Fiber construction to connect Aggregation sites without other options

*** Provide the E-rate match for IA and Data transport as incentive for participants

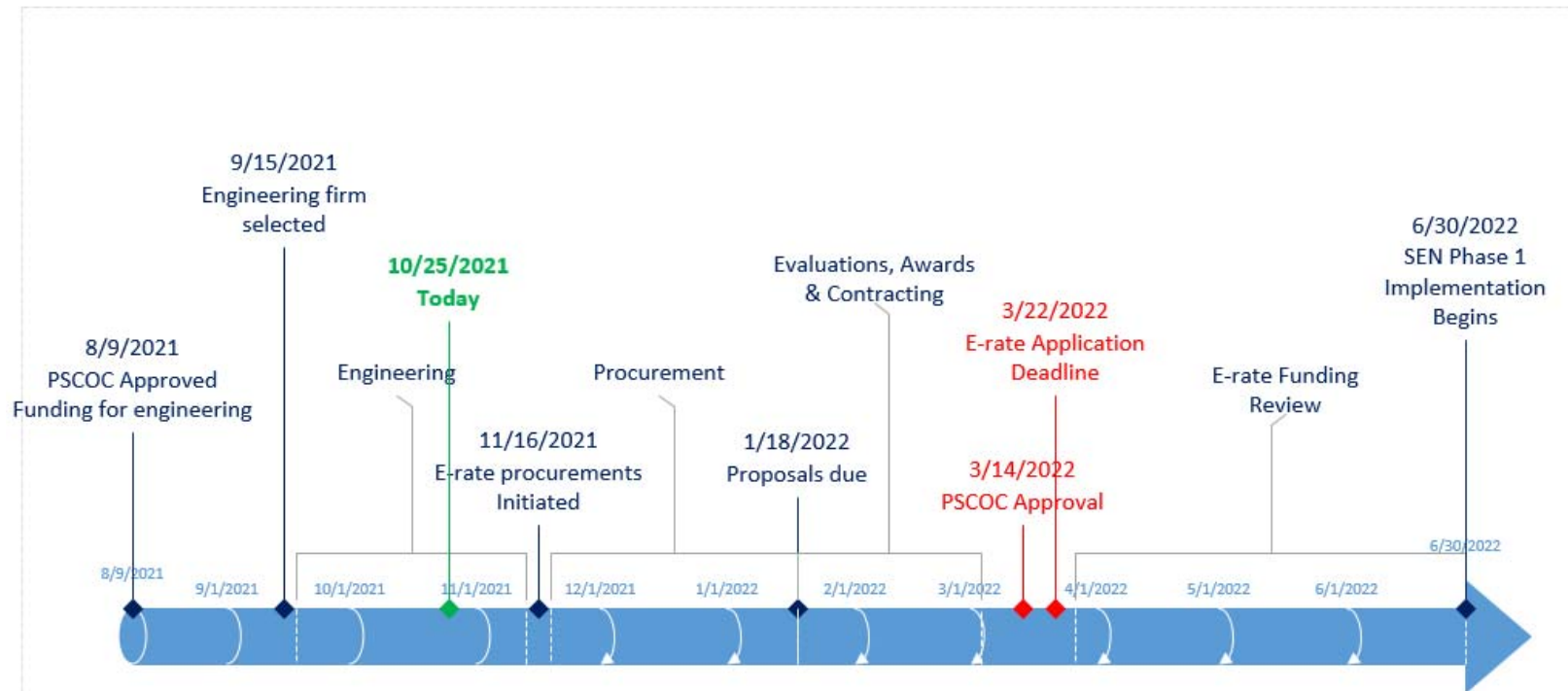
**** Aggregation hubs remodel to ensure power, cooling, security

SEN: Next Steps

Timeline – First Phase:

- August – October 2021: High-level, statewide engineering and procurement development.
- November 2021 – January 2022: Procurement for E-rate eligible services and projects.
- January – February 2022: Contracting for E-rate eligible services and projects.
- **March 2022: E-rate funding application deadline.**
- July 2022: Begin implementation of Phase 1 contracts for services and projects.

SEN: Next Steps



2021 – Statewide Education Network (SEN)
Phase 1

Questions

Martica Casias

Interim Director, PSFA

mcasias@nmpsfa.org

Ovidiu Viorica

Broadband and Technology Program Manager, PSFA

505-270-1355

oviorica@nmpsfa.org

PSFA Broadband team:

Ruth Bingham - PSFA

rbingham@nmpsfa.org

Jerry Smith - PSFA

jsmith@nmpsfa.org

Chris Martinez - PSFA

cmartinez@nmpsfa.org

Thank You!

- I. **PSCOC Meeting Date:** November 8, 2021
- II. **Item Title:** 2021-2022 Second Round Applications Received
- III. **Name of Presenter:** Alyce Ramos, Programs Manager
- IV. **Executive Summary (Informational):**

Background:

For the Second Round of the 2021-2022 PSCOC capital funding cycle, the Public School Facilities Authority (PSFA) invited applications from eligible schools based on the following criteria:

- Standards-based: facilities within the Top 100 and/or with a campus FCI greater than 70%;
- Systems-based: facilities within the Top 300 or have a campus FCI greater than 70%;
 - Demolition Systems-based: abandoned facilities, regardless of wNMCI, rank, FCI or building type;
- Pre-K Classroom Facilities: all schools.

PSFA sent the pre-applications to all districts on September 14th and received completed applications from eligible districts/schools by October 14th.

Current Summary:

PSFA received 32 applications for 40 facilities, from 16 districts and 2 charter schools, for all three programs; PSFA is currently reviewing and analyzing applications.

Standards-Based (Large Projects) applications received:

- 2 applications were received from districts/schools that are ineligible:
 - Albuquerque Sign Language Academy (state charter school) in Albuquerque (no local funding). Charter is requesting a waiver.
 - Gallup McKinley – Thoreau HS replacement (not within the top 100, FCI not over 70%).

Systems-Based (Small Projects) applications received:

- 24 applications from 14 districts.
- Includes 10 Systems-based applications for demolition (18 buildings).

- 6 districts are requesting additional funding for demolition.
- 3 applications were received from schools outside of the preliminary funding pool:
 - Magdalena Combined (currently funded Systems-based project)
 - Gallup McKinley – Indian Hills Elementary School (not within top 300, FCI not over 70%)
 - Deming - Bell Elementary School (not within top 300, FCI not over 70%)

Pre-K Classroom Facilities:

- 6 pre-applications from 5 districts.
 - 2 districts are requesting waivers (Rio Rancho, School of Dreams Academy).

Estimated total project costs, based on application requests:

- \$122.1M estimated total project cost for all requests, all 3 programs (does not exclude ineligible applications, or consider additional funding requests).
- \$72.7M estimated total state match.
 - Standards-based: \$49M total estimated cost
 - (\$40.7M estimated state share).
 - Systems-based \$52.3M total estimated cost
 - (\$22.1M estimated state share)
 - Pre-K classrooms: \$20.7M total estimated cost
 - (\$10.8M estimated state share)

Standards Applications not eligible for an award:

- **Albuquerque Sign Language Academy (state charter):** School does not have local matching funds for the project. The district is requesting a waiver.
- **Gallup McKinley, Thoreau HS:** The district is requesting funding to replace the high school. The high school is not eligible, by ranked position or FCI score. The school is ranked #181, with an FCI score of 66.66%. The high school shares a site with the middle school, but the middle school is not eligible for an award either (ranked #617, with an FCI score of 39.42%).

Systems Applications not eligible for an award:

- **Magdalena Combined:** The district is requesting a new systems-based award for a fire alarm and detection system. However, the

district has a current Systems-based award in process.

- **Gallup McKinley, Indian Hills ES:** The district is requesting funding to replace the roof at the school. The school is ranked #354 with an FCI of 47.1%, and is therefore outside the preliminary funding pool and is not eligible for funding.
- **Deming, Bell ES:** The district is requesting funding to replace the roof at Bell ES. The school is ranked 469, with an FCI of 54%, and is therefore outside the preliminary funding pool and is not eligible for funding.

Awards are scheduled for the December PSCOC meeting.

Combined List of 2021-2022 2nd Round Applications

Within the Preliminary Funding Pool, Sorted by Rank

	Standards		A	B	C	D	E	F	G	H	I	J	K	
	District	School	2021-2022 wNMCI Rank	2021-2022 wNMCI	2021-2022 FCI	Project Type	Local Match %	State Match %	Offset	Total Estimated Project Cost	FY22 Local Match (after offsets) *	FY22 State Match (after offsets) *		
1	*State Charter	Albuquerque Sign Language Academy	4	64.81%	46.41%	Replacement	77%	23%	\$230,150	\$ 27,214,286	\$ 21,185,150	\$ 6,029,136	1	
2	*Gallup	Thoreau High School	181	22.75%	66.66%	Replacement	17%	83%		\$ 49,075,786	\$ 8,342,884	\$ 40,732,902	2	
	2	2	Subtotal								\$49,075,786	\$8,342,884	\$40,732,902	
Systems-Based	District	School	2021-2022 wNMCI Rank	2021-2022 w/NMCI	2021-2022 FCI	Project Type	Local Match %	State Match %	Offset	Total Estimated Project Cost	FY22 Local Match (after offsets) *	FY22 State Match (after offsets) *		
	Las Cruces	East Picacho ES	60	40.49%	72.58%	HVAC	60%	40%	\$288,000	\$ 4,720,922	\$ 3,120,833	\$ 1,600,089	3	
	Farmington	Heights MS	135	34.62%	66.40%	Roof	56%	44%		\$ 3,878,571	\$ 2,172,000	\$ 1,706,571	4	
	Las Cruces	Zia MS	162	32.81	71.78	Fire Alarm + HVAC	60%	40%		\$ 2,307,101	\$ 1,984,261	\$ 322,841	5	
	**Magdalena	Magdalena Combined	167	33.87%		Fire Alarm / Detect.	24%	76%		\$ 700,000	\$ 168,000	\$ 532,000	6	
	Las Cruces	Hermosa Heights	209	30.09%	59.87%	Roof & HVAC	60%	40%		\$ 4,122,494	\$ 2,473,496	\$ 1,648,998	7	
	Farmington	Mesa View MS	211	29.94%	75.56%	Roof	56%	44%		\$ 904,286	\$ 506,400	\$ 397,886	8	
	Farmington	Bluffview ES	213	29.93%	75.94%	Roof & HVAC	56%	44%		\$ 5,166,537	\$ 2,893,261	\$ 2,273,276	9	
	Farmington	Apache Elementary School	243	28.06%	71.44%	Roof & HVAC	56%	44%		\$ 5,043,306	\$ 2,824,251	\$ 2,219,055	10	
	Farmington	Esperanza ES	268	26.78%	66.49%	Roof	56%	44%		\$ 3,695,400	\$ 2,069,424	\$ 1,625,976	11	
	Farmington	Mesa Verde Elementary School	286	25.87%	89.74%	HVAC	56%	44%		\$ 651,600	\$ 364,896	\$ 286,704	12	
	Farmington	Piedra Vista High School	298	25.18%	86.25%	HVAC	56%	44%		\$ 11,442,886	\$ 6,408,016	\$ 5,034,870	13	
	Farmington	McCormick Elementary School	299	25.15%	87.04%	Roof & HVAC	56%	44%		\$ 1,877,686	\$ 1,051,504	\$ 826,182	14	
	*Gallup	Indian Hills Elementary School	354	22.75%	47.01%	Roof	17%	83%		\$ 1,614,286	\$ 274,429	\$ 1,339,857	15	
	*Deming	Bell Elementary School	469	17.59%	54.08%	Roof	39%	61%		\$ 135,250	\$ 52,748	\$ 82,503	16	
	Deming	Jarvis House Deming HS - Concessions Stand				Demolition	39%	61%		\$ 120,964	\$ 47,176	\$ 73,788	17	
	Gadsden	San Miguel Barrack San Miguel Pump House Anthony Security La Mesa				Demolition	30%	70%		\$ 202,743	\$ 60,823	\$ 141,920	18	
	Grants	Grants High School - Original Bldg.				Demolition	31%	69%		\$ 285,714	\$ 105,286	\$ 180,429	19	
	Hatch	Cotton Gin Building Old Fertilizer Building				Demolition	15%	85%		\$ 384,284	\$ 57,643	\$ 326,642	20	
	Mora	Mora Combined - Old Industrial Arts Bldg. Mora High School Gym Mora Elementary				Demolition	68%	32%	\$925,786	\$ 758,465	\$ 758,465		21	
	Moriarty	Moriarty HS - East Complex / Barbell Bldg. Edgewood ES - South Building				Demolition	78%	22%	\$88,970	\$ 1,878,100	\$ 1,553,888	\$ 324,212	22	
	Quemado	Old Ag Shop Datil Library				Demolition	94%	6%	\$108,000	\$ 57,143	\$ 57,143	\$ -	23	
	Springer	Bus Barn				Demolition	68%	32%	\$86,857	\$ 22,732	\$ 22,732		24	
	Socorro	Edward Torres ES				Demolition	30%	70%		\$ 1,474,037	\$ 442,211	\$ 1,031,823	25	
	T or C	Old Central Office Old ES/MS Cafeteria				Demolition	85%	15%		\$ 897,337	\$ 762,737	\$ 134,601	26	
	14	24	Subtotal								\$52,341,844	\$30,231,623	\$22,110,223	
Pre-K	District	School				Project Type	Local Match %	State Match %	Offset	Total Estimated Project Cost	FY22 Local Match (after offsets) *	FY22 State Match (after offsets) *		
	Deming	My Little School				Pre-K	39%	61%		\$ 1,321,857	\$ 515,524	\$ 806,333	27	
	Gadsden	Chaparral On Track Center				Pre-K	30%	70%		\$ 2,323,214	\$ 696,964	\$ 1,626,250	28	
	Gadsden	New Riverside On Track Center				Pre-K	30%	70%		\$ 5,116,857	\$ 1,535,057	\$ 3,581,800	29	
	NMSD	NMSD Pre-K				Pre-K	50%	50%		\$ 1,421,887	\$ 710,944	\$ 710,944	30	
	Rio Rancho	Shining Stars Pre-K				Pre-K	65%	35%	\$1,383,027	\$ 5,935,929	\$ 5,192,631	\$ 743,298	31	
State Charter	School of Dreams Academy				Pre-K	44%	56%	\$169,500	\$ 4,571,429	\$ 2,180,929	\$ 2,390,500	32		
	5	6	Subtotal								\$20,691,173	\$10,832,049	\$9,859,125	
TOTAL										Total Estimated Project Cost	FY22 Local Match (after offsets) *	FY22 State Match (after offsets) *		
										\$122,108,803	\$49,406,556	\$72,702,250		

NOTES:

* School is in not eligible for an award based on eligibility requirements for programs.

** School is in "Previously Funded" section of ranking. wNMCI and Rank shown are from time of original award.

District is requesting additional funding or a waiver.

**State of New Mexico
Public School Capital Outlay Council**

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**Public School Facilities Authority
Jonathan Chamblin, Director**
1312 Basehart Road, SE, Suite 200, Albuquerque, NM 87106
(505) 843-6272 (Phone); (505) 843-9681 (Fax)
Website: www.nmpsfa.org

M E M O R A N D U M

To: School Districts and Charter Schools

From: Jonathan Chamblin, Director PSFA

Date: September 14, 2021

Subject: 2021-2022 Capital Funding Applications – Second Round (including demolition)

The Public School Capital Outlay Council (PSCOC) has released the second round of the 2021-2022 Capital Funding Applications to make Standards-based, Systems-based, and Pre-K awards for eligible school facilities. The Systems-based program has been updated to include new guidelines for the demolition of abandoned buildings; districts may request a reduction of the local share for demolition projects, up to 100% state funding, based on eligibility.

Eligibility thresholds are set to provide an opportunity for applications, but do not serve as a guarantee of an award for an application.

The 2021-2022 Final weighted New Mexico Condition Index (wNMCI) Ranking and all application documents can be found under the “Funding” heading in the index on top of the PSFA homepage at <https://www.nmpsfa.org/wordpress/capital-funding/>.

The PSCOC will consider school district's and charter school's requests based on the criticality of need and on project readiness. Funds earmarked for these programs are tentatively scheduled to be awarded in December 2021.

Highlight of key dates:

- September 13, 2021 – PSCOC approved the release of the application.
- September 14, 2021 - Release of applications.
- **October 14, 2021 - Applications due to PSFA.**
- December 13, 2021 - PSCOC Awards Meeting.

Please contact your respective PSFA Regional Facilities Manager for questions or further details about these initiatives and/or the application process.

SYSTEMS-BASED CAPITAL OUTLAY

Eligibility for systems-based capital outlay awards is subject to the following limitations:

- Facilities within the Top 300 of the 2021-2022 Final wNMCI Ranking and/or a campus FCI greater than 70% will be considered.*
- Eligible system types include: Roof, HVAC-Related Systems, Fire Alarm/Detection, Fire Sprinkler, Site Drainage, Demolition and any systems which are identified as a Category 1 in the Facilities Assessment Database. A Category 1 indicates critical issues that pose immediate threats to the life, health or safety of persons within the facility.
- Assessment report(s) must be complete at the time of the application, and must demonstrate that the total project cost is 50% or less of the total facility replacement costs and that supports the conclusion that the repair, renovation or replacement will extend the useful life of the building itself.
- School districts and charter schools that are being considered for a small project must have an FMAR score of at least 70% for the campus. The PSCOC may prioritize funding to districts demonstrating an overall satisfactory level of maintenance performance, which includes a current PM Plan on file with PSFA for the duration of 2021 and consistent use of the Facility Information Management System (FIMS) with a 2.0 or better on all FIMS modules for the duration of 2021. Applicant districts with campus FMAR scores below 70% are encouraged to contact PSFA for assistance in improving their measured maintenance performance. **Please note:** future award cycles may be contingent on a higher level of maintenance performance to include a minimum FMAR score of 70% and a current PM Plan on file with PSFA for the duration of 2021, and consistent use of the Facility Information Management System (FIMS) with a 2.0 or better on all FIMS modules for the duration of 2021).*
- Match requirements per state/local match percentage as of June 2021.
- The district/charter must be willing and able to provide its local share of the total cost of the project. Contingent on available funding, the PSCOC may consider limited approval of requests for local match reductions or advances for this funding program upon districts/charters qualifying under statutory and regulatory provisions and evidence that no other funds are available.
- Funds must be expended within 3 years of the allocation.*
- Applications will be from highest to lowest wNMCI.*
- Participation in a Systems-based project will be limited to space and gross square footage limitations established in the Adequacy Planning Guide. PSCOC will only participate in projects up to the maximum gross square footage pursuant to the Adequacy Planning Guide; school districts and charter schools will be responsible for funding any gross square footage that is considered above the maximum allowed, or ineligible space types.*
- A current facility master plan, preventive maintenance plan and use of FIMS are prerequisites for a systems-based award.

*This requirement does not apply to demolition projects.

SYSTEMS-BASED CAPITAL OUTLAY FOR DEMOLITION

The Systems-based program rules have allowed for demolition requests, with certain qualifying criteria. In the January 2021 regular legislative session, Senate Bill 43, Section 22-24-2(L) NMSA 1978, was introduced and passed. The intent of this bill was to assist districts with demolition of abandoned buildings. The new statute defines new criteria, indicating potential eligibility for up to 100% state funding for the demolition of abandoned facilities. All demolition requests will continue to be within the Systems-based program with options for state local match or up to 100% state funding.

“L. Upon application by a school district, allocations from the fund may be made by the council for the purpose of demolishing abandoned school district facilities; provided that:

- 1.) the costs of continuing to insure an abandoned facility outweigh any potential benefit when and if a new facility is needed by the school district;*
- 2.) there is no practical use for the abandoned facility without the expenditure of substantial renovation costs; and*
- 3.) the council may enter into an agreement with the school district to fully fund the demolition of the abandoned school district facility if Paragraphs (1) and (2) of this subsection are satisfied.”*

- Demolition scope includes the work needed to remove a structure from an existing site, including grading and drainage that may be required to stabilize the site after the building is removed.
- Only the demolition scope/cost is eligible for state funding.
 - Districts will be responsible for any associated scopes of work to repair or replace building systems that may be impacted by the demolition project.
- Demolition scope will also include testing for and abatement of asbestos, lead, hazardous materials, and underground conditions.
- Demolition shall be completed utilizing best industry standards, and Construction Industries Division regulations.
- If the building to be demolished is a portable, the district must demonstrate compliance with Section 13-6-1 NMSA 1978.
- All contents within the building to be demolished that the district wishes to keep must be removed prior to demolition, at the district expense.

Eligibility for Systems-based capital outlay awards for demolition is subject to the following limitations:

- Applicable Systems-based eligibility requirements apply to the demolition requests for funding.
- Abandoned district owned facilities will be considered, regardless of the wNMCI score, rank, FCI score, or building type.
- Funds must be expended within 1 year of the allocation.

There are two Systems-based demolition options:

- The demolition project is subject to the required state/local funding match for that district, based on the state/local match percentages in place at the time of the award.
- The demolition scope may be funded with up to 100% state funding if the district requests the additional funding and submits the required documentation to fulfill statutory requirements.

- The cost of continuing to insure the abandoned facility outweighs any potential benefit when and if a new facility is needed.
- There is no practical use for the abandoned facility without the expenditure of substantial renovation costs.

Application requirements for Systems-based capital outlay awards for demolition:

- In addition to submitting a Systems-based application, the district must submit the following:
 - The Demolition Checklist completed for each building to be demolished.
 - Photos of the requested facility to be demolished, to include: exterior photos of all sides of the facility, interior photos of representative spaces throughout the facility, and photos of damage; additional photos may be requested if clarification is needed.
 - One estimate from a local contractor for the total project cost.
- If the district requests additional state funding for demolition scope, the following documentation is required as part of the application:
 - A letter from the district, signed by the school board president and superintendent, certifying the requested facility to be demolished is abandoned, no longer needed for district purposes, and the cost of continuing to insure the facility outweighs any potential benefit to the district.
 - Documentation of insurance premiums from the previous year indicating the amounts paid for the requested building to be demolished.
 - Statement of financial position.

STANDARDS-BASED CAPITAL OUTLAY

Eligibility for large school project (standards-based) capital outlay awards is subject to the following limitations:

- Only highly ranked facilities in the Top 100 and/or with a campus FCI greater than 70% of the 2021-2022 Final wNMCI Ranking will be considered.
- Match requirements per state/local match percentage as of June 2021.
- Sufficient local matching dollars are or will be available. Contingent on available funding, the PSCOC may consider limited approval of school district and charter school requests for local match reductions or advances for standards-based projects pursuant to statute if no other funds are available.
- A current facility master plan, preventive maintenance plan and use of FIMS are prerequisites for a standards-based award.
- Applications will be ranked from highest to lowest wNMCI, as well as by campus FCI over 70%.

PRE-KINDERGARTEN CLASSROOM FACILITIES

The Public School Capital Outlay Council (PSCOC) has \$5 million available for 2021-2022 Pre-Kindergarten (Pre-K) capital outlay awards statewide.

Eligibility for Pre-k classroom facility awards is subject to the following limitations:

- All school facilities in the 2021-2022 Final wNMCI Ranking are eligible for renovation or addition of Pre-K classroom facilities, including restrooms as required.
- Construction/renovation shall meet the current adequacy standards (6.27.30 NMAC).
- Funding for this program excludes the purchase of portable buildings, any exterior site features such as, parking and drop off areas and playgrounds, as well as furniture, fixtures and equipment (FF&E).
- Match requirements per state/local match percentage as of June 2021.
- Sufficient local matching dollars are or will be available.
- The district/charter must be willing and able to provide its local share of the total cost of the project. Contingent on available funding, the PSCOC may consider limited approval of requests for local match reductions or advances for this funding program upon districts/charters qualifying under statutory and regulatory provisions and evidence that no other funds are available.
- Funds must be expended within 3 years of the allocation.
- All applications may be ranked and awarded on a competitive basis.

I. **PSCOC Meeting Date:** November 8, 2021

II. **Item Title:** PSFA Project Processes

III. **Name of Presenter:** Martica Casias, Interim Director

IV. **Executive Summary (Informational):**

PSFA/PSCOC Problem Statement:

Based on revisiting several processes internally, PSFA Staff recognizes there are many steps that can be eliminated in an effort to better serve the district and PSCOC in a more efficient manner to move projects forward.

PSFA staff is actively engaged in reviewing internal processes to find and eliminate redundancies, creating new functional logic to streamline them. In addition to PSFA staff review, through the months of November and December we will engage with various school district personal and design professionals to receive feedback and suggestions on our current processes and our improved processes.

PSFA began revisiting our processes in early October. These are the areas we have made progress with so far:

- **Pre-Applications** for PSCOC Standards-based, Systems, and Pre-K.
 - Existing - 3 steps (with external actors)
 - Revised - 1 steps (internal actor)
- **Full Application**
 - Existing - 3 steps (with external actors)
 - Revised - 5 steps (internal actor)
- **Request for Approval of School Construction** (submission of construction documents for review of award language, code compliance, code compliance, costs and selection of systems)
 - Existing - 9 steps (1 external actor, 8 internal)
 - Revised - 4 steps (1 internal)
- **Owner Design Review** (Process after RASC is initiated)
 - Existing - 3 steps (1 external, 2 internal)

- Revised - 5 steps, however with the elimination of steps that were in the RASC. RASC process used to take up to 40 days. (1 external, 4 internal)

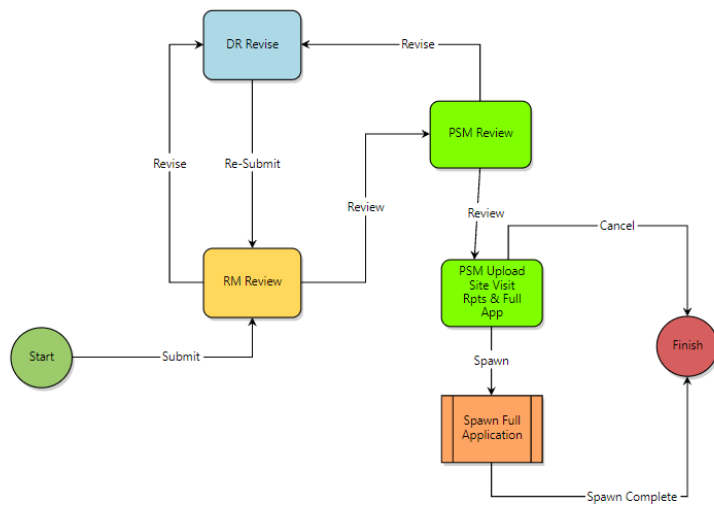
PSFA Processes to be reviewed:

- Contracts Administration
- Finance
- Broadband
- Maintenance
- Interaction with DFA and Board of Finance (training underway)
- Interaction with Construction Industries Division (CID staff trained PSFA staff in October)
- Interaction with State Fire Marshalls Office

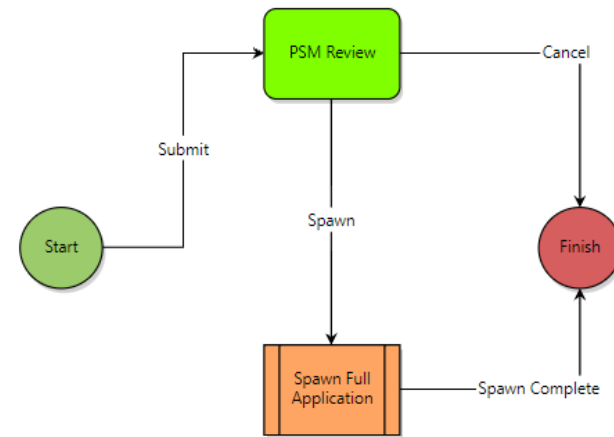
Additionally, in the last year we made the following major improvements:

- Web-based lease assistance application
- Web-based FMP application
- Electronic School Assessments (hand held tool for data tracking, fed to Facilities Assessment Database)
- The next round of PSCOC Standards-based, Systems, Pre-K and Teacher housing will be web-based

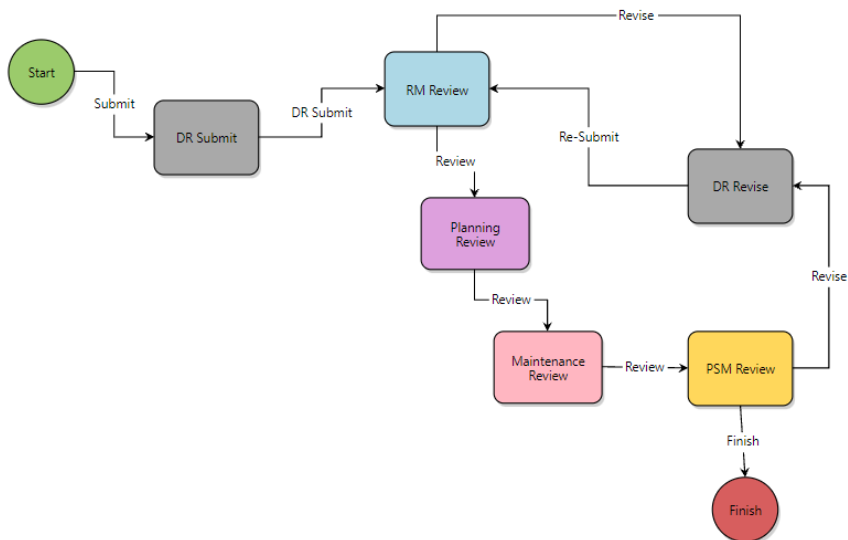
PSCOC Capital Funding Pre Application 2021-2021 (Original Version)



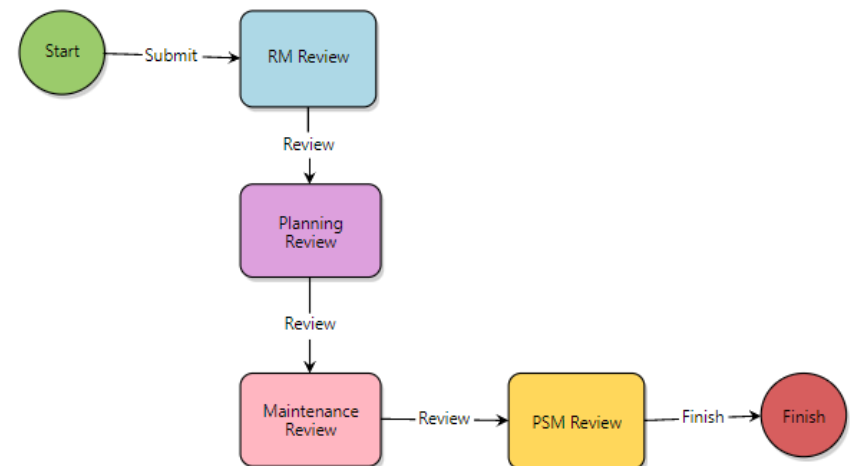
PSCOC Capital Funding Pre Application 2021-2021 2nd Round
(Current Version)

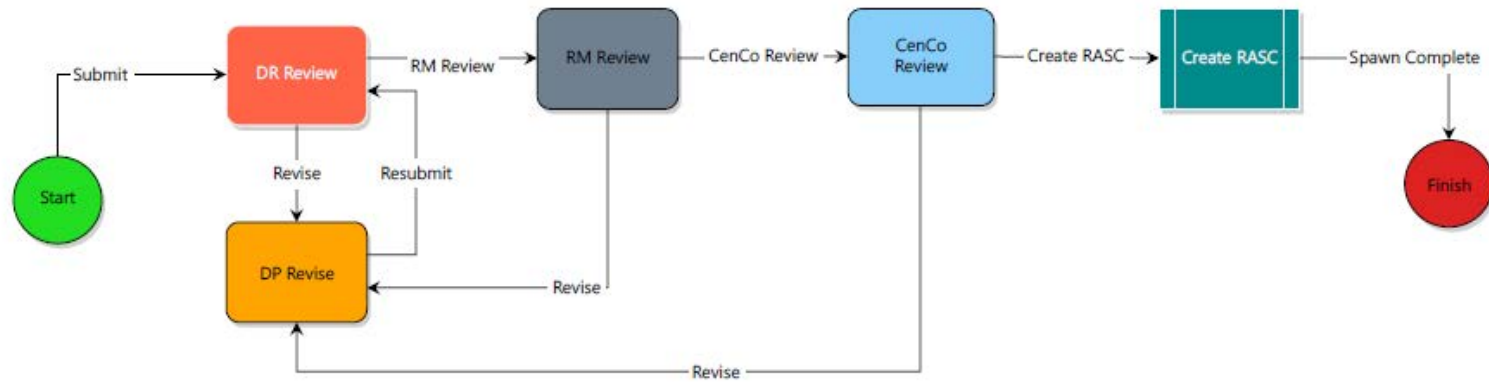


PSCOC Capital Funding Full Application 2021-2022
(Original Version)

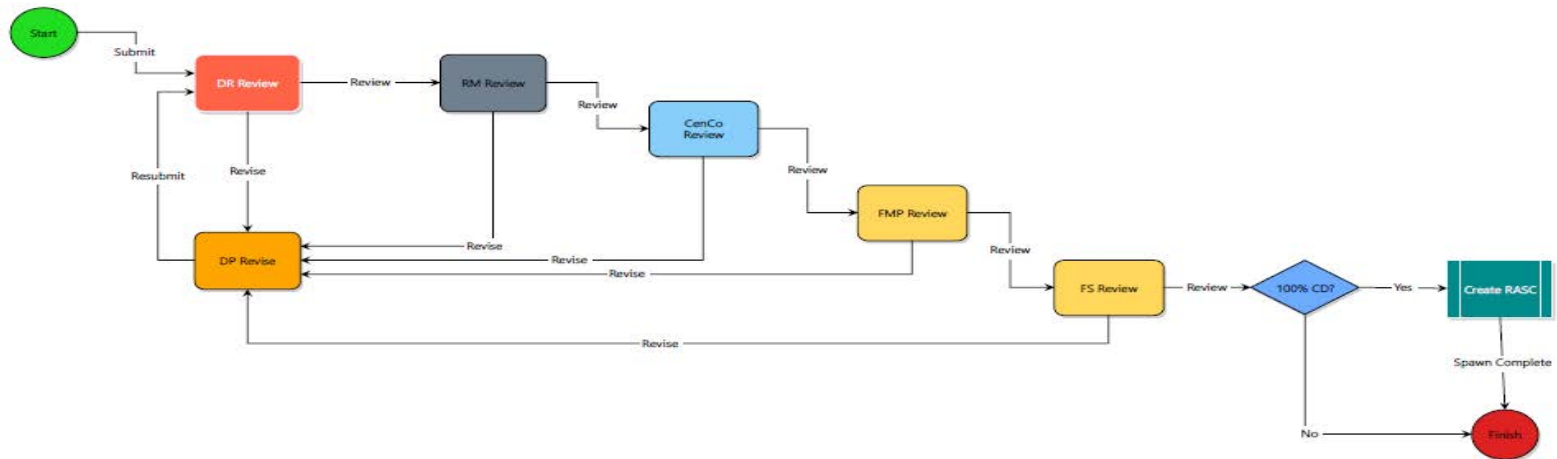


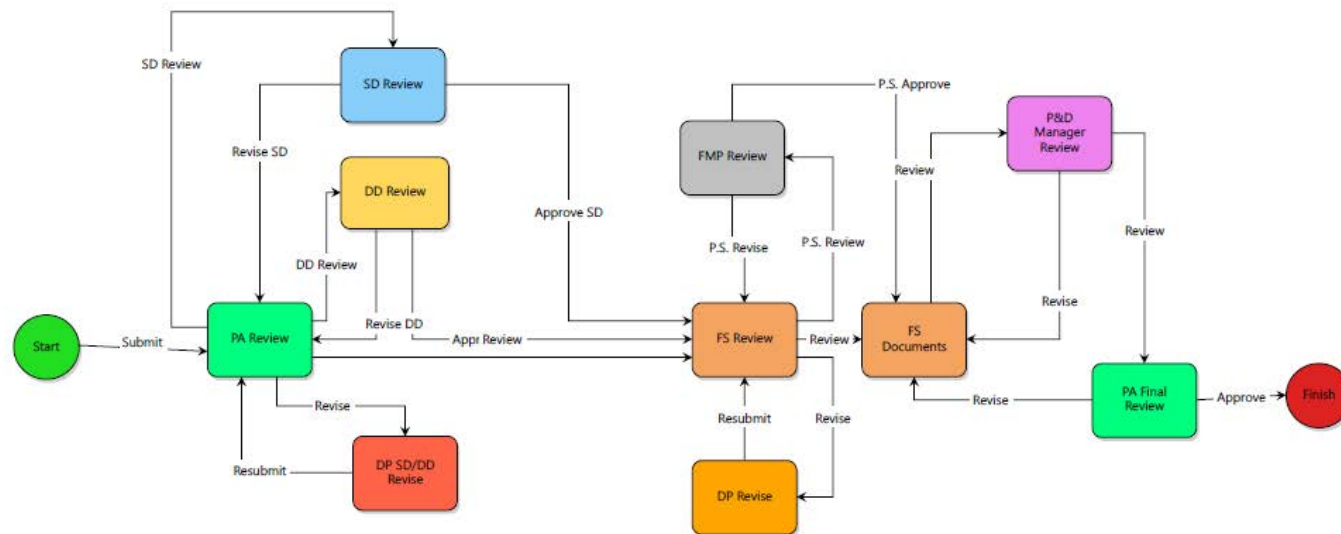
PSCOC Capital Funding Full Application 2021-2022
(Current Version)



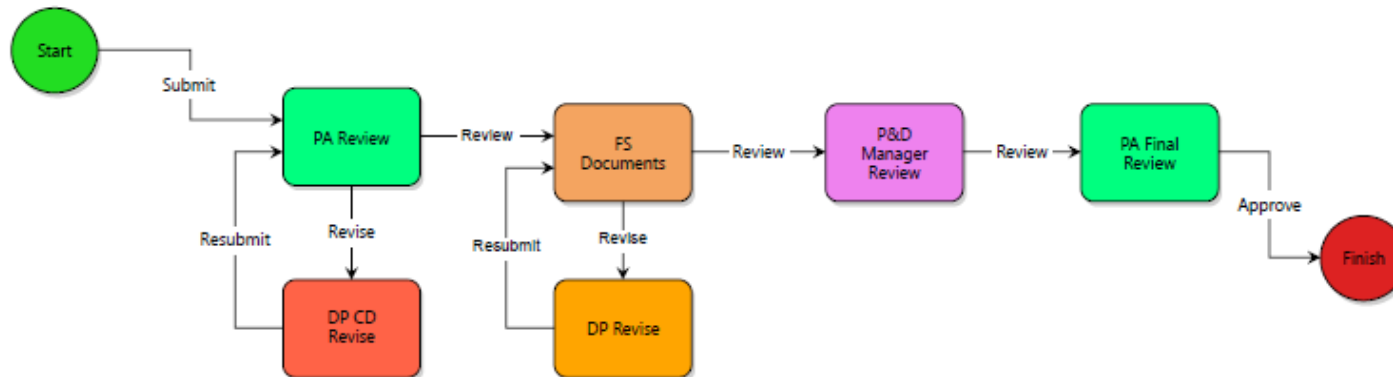


Owner Design Review - Proposed





Request for Approval of School Construction (PSCOC)- Proposed



I. **PSCOC Meeting Date:** November 8,2021

II. **Item Title:** Project Status Report

III. **Name of Presenter(s):** Martica Casias, Interim Director
Daniel Juarez, Senior Projects Coordinator

IV. **Executive Summary (Informational):**

Projects that are behind, based on MOU schedule, but making progress:

- **Bernalillo Public Schools (BPS)**
 - S19-004 – Bernalillo – Bernalillo MS – District in process of selecting a General Contractor.
- **Farmington Municipal Schools (FMS)**
 - S18-007 – Farmington Country Club ES – In 11 month warranty correction period.
- **Gallup-McKinley County Schools (GMCS)**
 - K18-006 – Gallup – Thoreau ES – K18-006 and P15-006 are combined as one project. In 11 month warranty correction period.
- **Las Cruces Public Schools (LCPS)**
 - S19-010 – Las Cruces – Lynn MS – District in process of procuring a General Contractor.
 - S19-019 – Las Cruces – Highland ES – In construction.
 - S19-021 – Las Cruces – Mayfield HS – In 11 month warranty correction period. .
 - S19-024 – Las Cruces – Vista MS – In 11 month warranty correction period.
- **Las Vegas City Public Schools (LVCPS)**
 - P19-006 – Las Vegas City – Sierra Vista ES – In design.
 - S18-003 – Las Vegas City – Los Niños ES – In 11 month warranty correction period.
 - S18-003 – Las Vegas City – Los Niños ES Ph. II – In construction.
- **San Jon Municipal Schools (SJMS)**
 - S20-005 – San Jon – San Jon Combined School – In design.
- **Roswell (RISD)**
 - K18-012 – Roswell – Monterrey ES – In design
- **West Las Vegas Public Schools (WLVPS)**
 - S19-018 – West Las Vegas – Tony Serna Jr. ES – In planning.

Projects that are not currently making progress:

- **Las Cruces Public Schools (LCPS)**
 - S19-012 – Las Cruces – Rio Grande Preparatory Institute – In construction.
 - S19-020 – Las Cruces – Hillrise ES – In construction.
 - S19-022 – Las Cruces – Oñate HS – In construction.
 - S19-023 – Las Cruces – Picacho MS – In construction.
- **Roswell (RISD)**
 - K18-013 – Rowell – Sunset ES – Awaiting final RFP documentation from District to obtain Design Professional services.
 - P20-003 – Roswell – Mountain View MS – Awaiting final RFP documentation from District to obtain Design Professional services.
 - P20-006 – Roswell – Washington Avenue ES – Awaiting final RFP documentation from District to obtain Design Professional services.

- S20-001 – Roswell – Roswell HS - Awaiting final RFP documentation from District to obtain Design Professional services.
- **Socorro Consolidated School District (SCSD)**
 - S19-016 – Socorro – Socorro HS – Remaining interior finishes on hold due to District readiness.

PSCOC Project Status Report

11/8/2021

	Non Applicable
	On Schedule
	Behind Schedule
	Behind Schedule, No Progress

PP = Project Planning - Developing RFP/Contracts for Ed Spec Writer, Development and Approval of Ed Spec.
DD = Design Development - Project design development through construction Documents (plans and specs, bidding/proposal phase)
C = Construction - Project Under Construction
FC = Final Completion - All closeout documentation submitted and approved. Final payment approved.
PC = Project Closeout - 11 month correction period completed. Financial closeout completed.

School District	Project #	Project Name	PP	DD	C	FC	PC	Manager Report	AWARD TOTAL	COMMITTED	EXPENDED	AWARD BALANCE
Alamogordo Public Schools	P19-001	P19-001 Holloman ES (Alamogordo)	<div>100%</div> <div>0 mo.</div>	<div>100%</div> <div>0 mo.</div>	<div>55%</div> <div>3 mo.</div>	<div>0%</div> <div>6 mo.</div>	<div>0%</div> <div>21 mo.</div>	In construction.	\$21,208,809.00	\$16,355,953.52	\$5,778,113.21	\$4,852,855.48
Alamogordo Public Schools	P20-001	P20-001 Chaparral MS (Alamogordo)	<div>100%</div> <div>0 mo.</div>	<div>35%</div> <div>7 mo.</div>	<div>0%</div> <div>25 mo.</div>	<div>0%</div> <div>27 mo.</div>	<div>0%</div> <div>39 mo.</div>	In design.	\$2,162,755.00	\$1,087,548.69	\$150,106.80	\$1,075,206.31
Alamogordo Public Schools	S19-001	S19-001 Sacramento ES (Alamogordo)	<div>100%</div> <div>0 mo.</div>	<div>100%</div> <div>0 mo.</div>	<div>100%</div> <div>0 mo.</div>	<div>100%</div> <div>0 mo.</div>	<div>98%</div> <div>0 mo.</div>	In 11 month warranty correction period.	\$700,000.00	\$397,380.61	\$376,795.47	\$302,619.39
Alamogordo Public Schools	S19-002	S19-002 Buena Vista ES (Alamogordo)	<div>0%</div> <div>0 mo.</div>	<div>0%</div> <div>0 mo.</div>	<div>0%</div> <div>0 mo.</div>	<div>0%</div> <div>0 mo.</div>	<div>0%</div> <div>4 mo.</div>	Project on hold due to district readiness.	\$664,286.00	\$0.00	\$0.00	\$664,286.00
Belen Consolidated Schools	P19-002	P19-002 Jaramillo ES (Belen)	<div>100%</div> <div>0 mo.</div>	<div>0%</div> <div>10 mo.</div>	<div>0%</div> <div>27 mo.</div>	<div>0%</div> <div>36 mo.</div>	<div>0%</div> <div>38 mo.</div>	In design.	\$42,750.00	\$15,765.05	\$4,113.43	\$26,984.95
Belen Consolidated Schools	S19-003	S19-003 Dennis Chavez ES (Belen)	<div>100%</div> <div>0 mo.</div>	<div>8%</div> <div>2 mo.</div>	<div>0%</div> <div>14 mo.</div>	<div>0%</div> <div>16 mo.</div>	<div>0%</div> <div>25 mo.</div>	In design.	\$1,457,542.00	\$102,337.28	\$14,628.67	\$1,355,204.72
Bernalillo Public Schools	S19-004	S19-004 Bernalillo MS (Bernalillo)	<div>100%</div> <div>0 mo.</div>	<div>94%</div> <div>0 mo.</div>	<div>0%</div> <div>0 mo.</div>	<div>0%</div> <div>6 mo.</div>	<div>0%</div> <div>11 mo.</div>	In design.	\$1,641,697.00	\$214,793.24	\$159,272.70	\$1,426,903.76
Carrizozo Municipal Schools	P21-002	P21-002 Carrizozo Combined School (Carrizozo)	<div>100%</div> <div>0 mo.</div>	<div>0%</div> <div>11 mo.</div>	<div>0%</div> <div>30 mo.</div>	<div>0%</div> <div>36 mo.</div>	<div>0%</div> <div>39 mo.</div>	In planning.	\$0.00	\$0.00	\$0.00	\$0.00
Central Consolidated Schools	P20-002	P20-002 Newcomb ES (Central)	<div>100%</div> <div>0 mo.</div>	<div>5%</div> <div>19 mo.</div>	<div>0%</div> <div>38 mo.</div>	<div>0%</div> <div>44 mo.</div>	<div>0%</div> <div>64 mo.</div>	In design.	\$1,087,543.00	\$22,144.12	\$22,144.12	\$1,065,398.88
Clovis Municipal Schools	P20-009 & P20-009 & K18-002 Barry ES Combined (Clovis)		<div>100%</div> <div>0 mo.</div>	<div>100%</div> <div>0 mo.</div>	<div>29%</div> <div>6 mo.</div>	<div>0%</div> <div>0 mo.</div>	<div>0%</div> <div>0 mo.</div>	In construction.	\$3,464,798.00	\$3,362,930.01	\$656,266.16	\$101,867.99

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Clovis Municipal Schools	S20-003	S20-003 Clovis HS (Clovis)	100%	100%	60%	0%	0%	In construction.	\$546,382.00	\$241,667.00	\$241,667.24	\$304,715.00
			0 mo.	0 mo.	9 mo.	13 mo.	19 mo.					
Clovis Municipal Schools	S21-002	S21-002 Clovis HS (Clovis)	100%	100%	96%	0%	0%	In construction.	\$967,357.00	\$345,189.37	\$338,983.93	\$622,167.63
			0 mo.	0 mo.	2 mo.	2 mo.	12 mo.					
Des Moines Public Schools	P22-007	P22-007 Des Moines Combined School (Des Moines)	0%	0%	0%	0%	0%	Project on hold due to district readiness.	\$0.00	\$0.00	\$0.00	\$0.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Dexter Consolidated Schools	S18-006	S18-006 Dexter ES (Dexter)	100%	100%	100%	100%	95%	In 11 month warranty correction period.	\$673,256.00	\$667,292.79	\$654,240.26	\$5,963.21
			0 mo.	0 mo.	0 mo.	0 mo.	5 mo.					
Farmington Municipal Schools	S18-007	S18-007 Country Club ES (Farmington)	100%	100%	100%	100%	100%	In 11 month warranty correction period.	\$3,934,673.00	\$3,619,393.31	\$3,615,933.38	\$315,279.69
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Floyd Municipal Schools	S22-004	S22-004 Floyd Combined Schools (Floyd)	0%	0%	0%	0%	0%	In planning.	\$57,622.00	\$0.00	\$0.00	\$57,622.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Gadsden Independent Schools	S18-009	S18-009 Loma Linda ES (Gadsden)	100%	100%	100%	99%	98%	11 Month Warranty Correction Period.	\$6,431,950.00	\$3,565,201.93	\$3,522,453.69	\$2,866,748.07
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Gallup McKinley County Schools	P21-003	P21-003 Gallup HS (Gallup-McKinley)	100%	0%	0%	0%	0%	In planning.	\$101,250.00	\$0.00	\$0.00	\$101,250.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Gallup McKinley County Schools	P21-005	P21-005 Crownpoint HS (Gallup-McKinley)	100%	0%	0%	0%	0%	In design.	\$411,674.00	\$0.00	\$0.00	\$411,674.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Gallup McKinley County Schools	P21-006	P21-006 Navajo Pine HS (Gallup-McKinley)	100%	0%	0%	0%	0%	In design.	\$14,250.00	\$0.00	\$0.00	\$14,250.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					

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Gallup McKinley County Schools	S20-002	S20-002 Gallup HS (Gallup-McKinley)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$3,777,627.00	\$0.00	\$0.00	\$3,777,627.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Gallup McKinley County Schools	S20-004	S20-004 Crownpoint MS (Gallup-McKinley)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$1,684,658.00	\$0.00	\$0.00	\$1,684,658.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Gallup McKinley County Schools	S20-006	S20-006 Tse Yi Gai HS (Gallup-McKinley)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$452,937.00	\$29,478.26	\$0.00	\$423,458.74
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Gallup McKinley County Schools	S21-004	S21-004 Tohatchi MS (Gallup-McKinley)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$777,474.00	\$0.00	\$0.00	\$777,474.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Gallup-McKinley County Schools	K18-006	K18-006 Thoreau ES (Gallup-McKinley)	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>99%</div>	In 11 month warranty correction period.	\$268,031.00	\$0.00	\$0.00	\$268,031.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Gallup-McKinley County Schools	P15-006	P15-006 Thoreau ES	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>98%</div>	In 11 month warranty correction period.	\$15,514,837.00	\$12,968,845.36	\$12,747,281.13	\$2,545,991.64
			0 mo.	0 mo.	0 mo.	0 mo.	7 mo.					
Gallup-McKinley County Schools	P19-003	P19-003 Rocky View ES/Red Rock ES (Gallup-McKinley)	<div>100%</div>	<div>54%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$2,521,437.00	\$1,133,240.58	\$14,979.95	\$1,388,196.42
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Gallup-McKinley County Schools	P19-004	P19-004 Tohatchi HS (Gallup-McKinley)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$3,261,142.48	\$17,473.16	\$17,473.16	\$3,243,669.32
			0 mo.	7 mo.	21 mo.	27 mo.	37 mo.					
Grants Cibola County School District	P20-008	P20-008 Bluewater ES (Grants)	<div>100%</div>	<div>70%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$548,021.00	\$301,181.09	\$113,528.63	\$246,839.92
			0 mo.	4 mo.	16 mo.	28 mo.	53 mo.					
Grants-Cibola County Schools	P21-007	P21-007 Mesa View ES (Grants)	<div>100%</div>	<div>10%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$1,796,022.00	\$803,496.09	\$0.00	\$992,525.91
			0 mo.	3 mo.	20 mo.	21 mo.	32 mo.					

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Hatch Valley Public Schools	K21-001	K21-001 Garfield ES (Hatch Valley)	<div>100%</div>	<div>61%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design .	\$403,550.00	\$23,261.10	\$15,991.52	\$380,288.90
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Hatch Valley Public Schools	S21-005	S21-005 Hatch Valley MS (Hatch Valley)	<div>100%</div>	<div>60%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$220,397.00	\$14,698.28	\$7,165.40	\$205,698.72
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Hobbs Municipal Schools	P20-004	P20-004 Southern Heights ES (Hobbs)	<div>100%</div>	<div>46%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$1,354,716.00	\$623,749.39	\$209,020.45	\$730,966.61
			0 mo.	5 mo.	16 mo.	21 mo.	27 mo.					
Hobbs Municipal Schools	P21-004	P21-004 Heizer MS (Hobbs)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	Project on hold due to district readiness.	\$33,000.00	\$0.00	\$0.00	\$33,000.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Hobbs Municipal Schools	S20-007	S20-007 Hobbs HS (Hobbs)	<div>100%</div>	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In construction.	\$29,728.00	\$0.00	\$0.00	\$29,728.00
			0 mo.	0 mo.	0 mo.	4 mo.	10 mo.					
Hobbs Municipal Schools	S20-010	S20-010 Mills ES (Hobbs)	<div>100%</div>	<div>78%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$334,286.00	\$0.00	\$0.00	\$334,286.00
			0 mo.	0 mo.	10 mo.	14 mo.	21 mo.					
House Municipal Schools	S22-002	S22-002 House Combined (House)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$74,286.00	\$0.00	\$0.00	\$74,286.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Las Cruces Public Schools	P19-005	P19-005 Desert Hills ES (Las Cruces)	<div>100%</div>	<div>78%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$366,400.00	\$350,832.84	\$110,141.89	\$15,567.16
			0 mo.	5 mo.	0 mo.	0 mo.	0 mo.					
Las Cruces Public Schools	P20-005	P20-005 Columbia ES (Las Cruces)	<div>100%</div>	<div>20%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$4,105,206.00	\$30,278.84	\$29,435.30	\$4,074,927.16
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Las Cruces Public Schools	S19-009	S19-009 Fairacres ES (Las Cruces)	<div>100%</div>	<div>100%</div>	<div>15%</div>	<div>0%</div>	<div>0%</div>	In construction.	\$314,515.00	\$314,515.00	\$27,156.70	(\$0.00)
			0 mo.	0 mo.	1 mo.	6 mo.	37 mo.					

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Las Cruces Public Schools	S19-010	S19-010 Lynn MS (Las Cruces)	<div>100%</div>	<div>98%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$2,718,886.00	\$275,204.77	\$170,583.44	\$2,443,681.23
			0 mo.	0 mo.	1 mo.	9 mo.	38 mo.					
Las Cruces Public Schools	S19-012	S19-012 Rio Grande Preparatory Institute (Las Cruces)	<div>100%</div>	<div>100%</div>	<div>23%</div>	<div>0%</div>	<div>0%</div>	In construction.	\$695,031.00	\$695,031.00	\$49,908.83	(\$0.00)
			0 mo.	0 mo.	4 mo.	12 mo.	42 mo.					
Las Cruces Public Schools	S19-019	S19-019 Highland ES (Las Cruces)	<div>100%</div>	<div>100%</div>	<div>7%</div>	<div>0%</div>	<div>0%</div>	In construction.	\$229,869.00	\$225,066.10	\$23,155.57	\$4,802.90
			0 mo.	0 mo.	4 mo.	12 mo.	42 mo.					
Las Cruces Public Schools	S19-020	S19-020 Hillrise ES (Las Cruces)	<div>100%</div>	<div>100%</div>	<div>77%</div>	<div>0%</div>	<div>0%</div>	In construction.	\$39,110.00	\$39,110.00	\$11,517.92	(\$0.00)
			0 mo.	0 mo.	4 mo.	12 mo.	42 mo.					
Las Cruces Public Schools	S19-021	S19-021 Mayfield HS (Las Cruces)	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>10%</div>	<div>0%</div>	In 11 month warranty correction period.	\$245,368.00	\$245,368.00	\$185,778.12	\$0.00
			0 mo.	0 mo.	4 mo.	12 mo.	42 mo.					
Las Cruces Public Schools	S19-022	S19-022 Onate HS (Las Cruces)	<div>100%</div>	<div>100%</div>	<div>5%</div>	<div>0%</div>	<div>0%</div>	In construction.	\$329,147.00	\$329,147.00	\$41,153.87	(\$0.00)
			0 mo.	0 mo.	4 mo.	12 mo.	42 mo.					
Las Cruces Public Schools	S19-023	S19-023 Picacho MS (Las Cruces)	<div>100%</div>	<div>100%</div>	<div>91%</div>	<div>0%</div>	<div>0%</div>	In construction.	\$141,238.00	\$141,238.00	\$123,961.64	(\$0.00)
			0 mo.	0 mo.	4 mo.	12 mo.	42 mo.					
Las Cruces Public Schools	S19-024	S19-024 Vista MS (Las Cruces)	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>20%</div>	<div>0%</div>	In 11 month warranty correction period.	\$58,807.00	\$39,431.17	\$38,472.07	\$19,375.83
			0 mo.	0 mo.	4 mo.	12 mo.	42 mo.					
Las Cruces Public Schools	S21-001	S21-001 Tombaugh ES (Las Cruces)	<div>100%</div>	<div>5%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$165,548.50	\$0.00	\$0.00	\$165,548.50
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Las Cruces Public Schools	S21-003	S21-003 Onate HS (Las Cruces)	<div>100%</div>	<div>86%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$139,862.00	\$0.00	\$0.00	\$139,862.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					

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Las Vegas City Schools	P19-006	P19-006 Sierra Vista ES (Las Vegas City)	100%	10%	0%	0%	0%	In design.	\$218,119.00	\$0.00	\$0.00	\$218,119.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Las Vegas City Schools	S18-003	S18-003 Los Ninos ES (Las Vegas City)	100%	100%	100%	100%	98%	In 11 month warranty correction period	\$588,076.29	\$578,148.38	\$564,602.40	\$9,927.91
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Las Vegas City Schools	S18-003	S18-003 Los Ninos ES Ph.II (Las Vegas City)	100%	100%	98%	0%	0%	In construction.	\$3,349,834.74	\$3,080,224.32	\$3,335,108.25	\$269,610.42
			0 mo.	0 mo.	0 mo.	1 mo.	10 mo.					
Las Vegas City Schools	S22-011	S22-011 Paul D. Henry (Las Vegas City)	10%	0%	0%	0%	0%	In planning.	\$385,000.00	\$0.00	\$0.00	\$385,000.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Los Alamos Public Schools	P22-003	P22-003 Chamisa ES (Los Alamos)	5%	0%	0%	0%	0%	In planning.	\$409,195.00	\$0.00	\$0.00	\$409,195.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Los Alamos Public Schools	P22-005	P22-005 Pinon Elementary (Los Alamos)	5%	0%	0%	0%	0%	In planning.	\$501,411.00	\$0.00	\$0.00	\$501,411.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Los Lunas Public Schools	P19-008	P19-008 Peralta ES (Los Lunas)	90%	0%	0%	0%	0%	In planning.	\$0.00	\$0.00	\$0.00	\$0.00
			0 mo.	9 mo.	27 mo.	36 mo.	38 mo.					
Los Lunas Schools	K21-002	K21-002 Peralta ES (Los Lunas)	80%	0%	0%	0%	0%	In planning.	\$2,246,400.00	\$0.00	\$0.00	\$2,246,400.00
			0 mo.	12 mo.	30 mo.	36 mo.	37 mo.					
Los Lunas Schools	K21-003	K21-003 Raymond Gabaldon ES (Los Lunas)	60%	0%	0%	0%	0%	In Planning	\$2,805,660.00	\$0.00	\$0.00	\$2,805,660.00
			0 mo.	12 mo.	30 mo.	36 mo.	41 mo.					
Los Lunas Schools	P22-004	P22-004 Ann Parish ES (Los Lunas)	50%	0%	0%	0%	0%	In planning	\$42,000.00	\$0.00	\$0.00	\$42,000.00
			10 mo.	23 mo.	42 mo.	53 mo.	54 mo.					

PSCOC Project Status Report

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Non Applicable

On Schedule

Behind Schedule

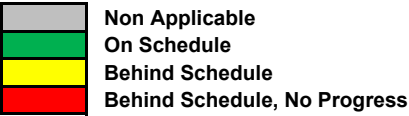
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Los Lunas Schools	S19-013	S19-013 Los Lunas MS (Los Lunas)	<div>100%</div>	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In construction	\$3,128,000.00	\$1,660,440.64	\$1,590,719.03	\$1,467,559.36
			0 mo.	0 mo.	3 mo.	6 mo.	14 mo.					
Magdalena Municipal Schools	S19-014	S19-014 Magdalena Combined School (Magdalena)	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>5%</div>	In 11 month warranty correction period.	\$403,925.00	\$377,032.23	\$268,500.55	\$26,892.77
			0 mo.	0 mo.	0 mo.	0 mo.	9 mo.					
Mosquero Municipal Schools	P22-002	P22-002 Mosquero Combined (Mosquero)	<div>5%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In planning.	\$54,923.00	\$0.00	\$0.00	\$54,923.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
New Mexico School for the Blind and Visually Impaired	P14-019	P14-019 NMSBVI Quimby Gymnasium	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>75%</div>	In 11 month warranty correction period.	\$2,589,459.45	\$2,293,143.10	\$2,260,108.69	\$296,316.35
			0 mo.	0 mo.	0 mo.	0 mo.	2 mo.					
New Mexico School for the Blind and Visually Impaired	P14-020	P14-020 Sacramento Dormitory	<div>100%</div>	<div>100%</div>	<div>6%</div>	<div>0%</div>	<div>0%</div>	In construction	\$229,442.00	\$173,719.22	\$121,341.36	\$55,722.78
			0 mo.	0 mo.	0 mo.	0 mo.	1 mo.					
New Mexico School for the Blind and Visually Impaired	P15-009	P15-009 Garrett Dormitory	<div>100%</div>	<div>100%</div>	<div>13%</div>	<div>0%</div>	<div>0%</div>	In construction.	\$11,337,490.50	\$3,776,820.45	\$140,018.01	\$7,560,670.05
			0 mo.	0 mo.	0 mo.	0 mo.	15 mo.					
New Mexico School for the Deaf	P15-010	P15-010 Cartwright Hall	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>99%</div>	<div>99%</div>	In 11 month warranty correction period.	\$6,164,578.00	\$5,899,065.30	\$5,877,596.97	\$265,512.70
			0 mo.	0 mo.	0 mo.	0 mo.	4 mo.					
Portales Municipal Schools	K18-011	K18-011 Brown Early Childhood Center (Portales)	<div>100%</div>	<div>100%</div>	<div>38%</div>	<div>0%</div>	<div>0%</div>	In construction.	\$1,665,294.00	\$1,665,293.97	\$500,421.53	\$0.03
			0 mo.	0 mo.	5 mo.	6 mo.	17 mo.					
Portales Municipal Schools	S20-008	S20-008 Brown Early Childhood Center (Portales)	<div>100%</div>	<div>100%</div>	<div>35%</div>	<div>0%</div>	<div>0%</div>	In construction.	\$2,997,513.00	\$1,959,712.64	\$432,681.86	\$1,037,800.36
			0 mo.	0 mo.	10 mo.	14 mo.	20 mo.					
Portales Municipal Schools	S22-003	S22-003 Portales HS (Portales)	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	Project on hold due to district readiness.	\$0.00	\$0.00	\$0.00	\$0.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					

PSCOC Project Status Report

11/8/2021



PP = Project Planning - Developing RFP/Contracts for Ed Spec Writer, Development and Approval of Ed Spec.
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School District	Project #	Project Name	PP	DD	C	FC	PC	Manager Report	AWARD TOTAL	COMMITTED	EXPENDED	AWARD BALANCE
Raton Public Schools	S22-001	S22-001 Longfellow ES (Raton)	<div>5%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In planning.	\$162,081.00	\$0.00	\$0.00	\$162,081.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Raton Public Schools	S22-005	S22-005 Raton HS (Raton)	<div>5%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In planning.	\$280,339.00	\$0.00	\$0.00	\$280,339.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Raton Public Schools	S22-010	S22-010 Columbian ES (Raton)	<div>5%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In planning	\$386,050.00	\$0.00	\$0.00	\$386,050.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Roswell Independent Schools	K18-012	K18-012 Monterrey ES (Roswell)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$226,286.00	\$0.00	\$0.00	\$226,286.00
			0 mo.	3 mo.	16 mo.	18 mo.	27 mo.					
Roswell Independent Schools	K18-013	K18-013 Sunset ES (Roswell)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	Project on hold due to district readiness.	\$351,257.00	\$0.00	\$0.00	\$351,257.00
			0 mo.	8 mo.	21 mo.	23 mo.	33 mo.					
Roswell Independent Schools	P19-009	P19-009 Mesa MS (Roswell)	<div>100%</div>	<div>100%</div>	<div>14%</div>	<div>0%</div>	<div>0%</div>	In construction.	\$15,672,121.00	\$822,269.72	\$557,483.53	\$14,849,851.28
			0 mo.	0 mo.	12 mo.	14 mo.	28 mo.					
Roswell Independent Schools	P19-010	P19-010 Nancy Lopez ES (Roswell)	<div>100%</div>	<div>15%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$1,547,738.00	\$0.00	\$0.00	\$1,547,738.00
			0 mo.	3 mo.	5 mo.	6 mo.	8 mo.					
Roswell Independent Schools	P20-003	P20-003 Mountain View MS (Roswell)	<div>46%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	Project on hold due to district readiness.	\$1,807,637.00	\$0.00	\$0.00	\$1,807,637.00
			0 mo.	6 mo.	20 mo.	25 mo.	31 mo.					
Roswell Independent Schools	P20-006	P20-006 Washington Avenue ES (Roswell)	<div>75%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	Project on hold due to district readiness.	\$51,000.00	\$0.00	\$0.00	\$51,000.00
			0 mo.	14 mo.	28 mo.	33 mo.	39 mo.					
Roswell Independent Schools	S20-001	S20-001 Roswell HS (Roswell)	<div>100%</div>	<div>15%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	Project on hold due to district readiness.	\$234,600.00	\$0.00	\$0.00	\$234,600.00
			0 mo.	0 mo.	0 mo.	0 mo.	7 mo.					

PSCOC Project Status Report

11/8/2021

Non Applicable

On Schedule

Behind Schedule

Behind Schedule, No Progress

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School District	Project #	Project Name	PP	DD	C	FC	PC	Manager Report	AWARD TOTAL	COMMITTED	EXPENDED	AWARD BALANCE
San Jon Municipal Schools	S20-005	S20-005 San Jon Combined School (San Jon)	<div>100%</div>	<div>15%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$152,006.00	\$0.00	\$0.00	\$152,006.00
			0 mo.	10 mo.	0 mo.	0 mo.	0 mo.					
Santa Rosa Consolidated Schools	E18-001	E18-001 Anton Chico (Santa Rosa)	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	District has initiated litigation against Architect and general contractor . 4.27.2021 Placed in Closeout phase	\$150,000.00	\$85,363.40	\$74,664.90	\$64,636.60
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Socorro Consolidated Schools	P19-015	P19-015 Sarracino MS (Socorro) (Formerly S19-015)	<div>100%</div>	<div>5%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$9,167,990.00	\$30,811.69	\$30,345.67	\$9,137,178.31
			0 mo.	8 mo.	24 mo.	30 mo.	35 mo.					
Socorro Consolidated Schools	S19-016	S19-016 Socorro HS (Socorro)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	Project on hold due to District readiness.	\$184,875.88	\$23,221.14	\$0.00	\$161,654.74
			0 mo.	0 mo.	7 mo.	13 mo.	18 mo.					
Truth or Consequences Municipal Schools	S22-006	S22-006 Sierra ES (Truth or Consequences)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$26,712.00	\$0.00	\$0.00	\$26,712.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Tularosa Municipal Schools	S19-017	P19-017 Tularosa MS (Orig. S19-017)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In planning.	\$53,250.00	\$7,530.16	\$7,505.58	\$45,719.84
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Tularosa Municipal Schools	S22-009	S22-009 Tularosa Intermediate (Tularosa)	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	Project on hold due to district readiness.	\$394,619.00	\$0.00	\$0.00	\$394,619.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
West Las Vegas Public Schools	P13-009	P13-009 West Las Vegas Middle School	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>100%</div>	<div>99%</div>	In 11 month warranty correction period.	\$6,717,738.00	\$6,100,442.08	\$5,957,066.32	\$617,295.92
			0 mo.	0 mo.	0 mo.	0 mo.	2 mo.					
West Las Vegas Public Schools	S19-018	S19-018 Tony Serna Jr. ES (West Las Vegas)	<div>5%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In planning.	\$619,202.00	\$201,686.62	\$17,733.61	\$417,515.38
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
Zuni Public Schools	P19-011	P19-011 Zuni MS (Zuni)	<div>100%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	<div>0%</div>	In design.	\$75,000.00	\$58,650.00	\$58,650.00	\$16,350.00
			0 mo.	0 mo.	0 mo.	0 mo.	0 mo.					
									\$165,546,553.84	\$77,391,818.02	\$51,265,972.92	\$88,154,735.82

VIII. Next PSCOC Meeting

(Proposed for December 13, 2021- *tentative*)

IX. Adjourn